

Tender Question & Answer Log

25009 – Merkburn Holdings

To: All Bidders
 Date: July 28, 2025
 Issue #: 02
 Project: **Merkburn Holdings Landlord Demising Walls**
 Project Address: 1050 Morrison Drive, 3rd Floor, Ottawa, Ontario
 ASDG Project #: **25009**
 Issued By: Sonja A. Schroeter, Principal & Lead Interior Designer

The following is a consolidated list of all bidder questions & project team responses:

Item #	Reference	Bidder Question	Project Team Response	Addendum #
1.0	General	Can we submit pertinent breakdowns with 2 hours of tender closing?	Client requires full breakdowns of costs for evaluation of bids.	1
2.0	General	Flooring and painting are typically priced by the square foot, so getting an hourly rate will not be relevant to any price breakdowns in the future.	Noted.	1
3.0	General	Is there a list of prequalified subcontractors that we have to use on this project for elec. or mech.?	BAS-HVAC- Baxtec Fire Protection: Fully licensed Fire Alarm Technician to be used Electrical: Nexus. However, bidders are permitted to use their preferred.	1
4.0	General	Noisy Work	All noisy work (hammer drilling, coring and ram setting) to be coordinated with Merkburn Holdings Project Manager and executed before and after regular business hours. 6:00-8:00 am and after 6:00 pm	1
5.0	General	Trade Site Visits	General Contractor's to coordinate access with ASDG	1

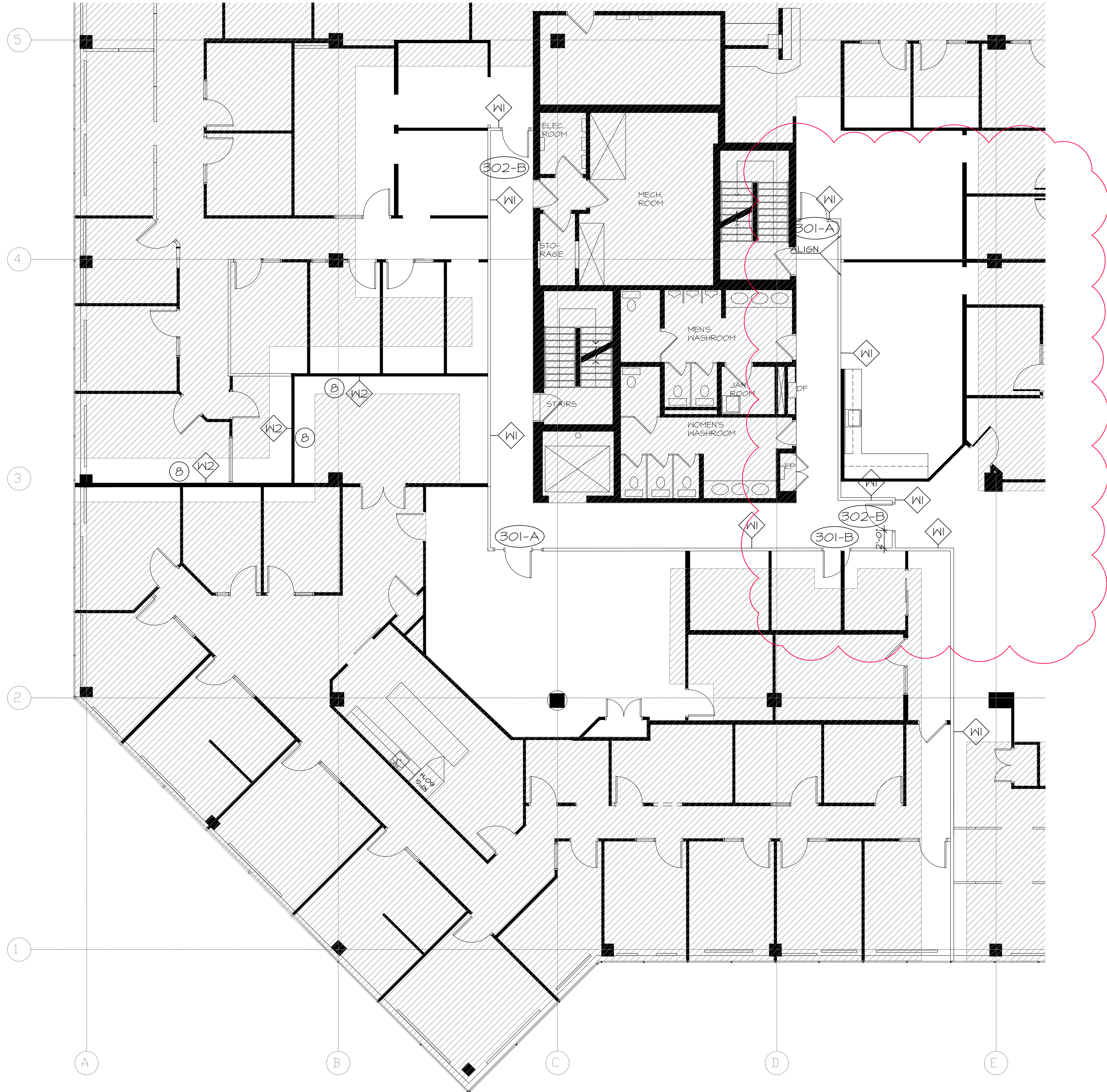
			for trade site visits for this week. (One visit per GC)	
6.0	General	Tender Schedule Update	Deadline for Contractor Questions (for both scopes): Friday, July 25 th at 10:00 AM Tender Closing (for both scopes): Thursday, July 31 st at 2:00 PM Estimated Award of Contract (separate awards): August 14 th , 2025 Construction Period (Landlord's Demising Wall): Tuesday, September 2 nd , 2025	1
7.0	General	Access to Washrooms	Merkburn Holdings will provide coordinate CAPCORP's access to 2 nd floor washrooms during full construction period.	1
8.0	Partition Plan & Reflected Ceiling Plan	Core Partitions & Ceiling	Partitions in core are to be constructed slab-to-gypsum board ceiling.	1
9.0	Reflected Ceiling Plan (Lighting)	Pot Lights & Fire Rated Drywall Assembly	Pot lights to be enclosed in fire rated drywall to maintain fire rated assembly.	1
10.0	Electrical Engineer Drawings (E2)	Note 1 says to provide new Douglas 12 button touch plate switches and plate. Douglas lighting is no longer available as they have discontinued the product and it's no longer available for purchase. Please provide clarification.	McKee: The existing master switches are being relocated, the intent was to freshen-up the tired-looking cover plate. Contractor to propose cover plate from alternate vendor. If nothing available, clean up the existing as best possible.	2

11.0	Demolition Plan	The demo plan notes to remove and relocate doors and frames but the door schedule calls for all new. Please confirm.	Contractor to remove and dispose doors and frames. All doors on the Door Schedule are to be new as noted.	2
12.0	Reflected Ceiling Demolition Plan	Page ID-1.2 shows the entire circular drywall ceiling to be removed above the existing reception area, but does not show new t-bar ceiling/grid in it's place. Please clarify if we are to allow for new t-bar ceiling/grid in this location, in place of the previous circular drywall ceiling feature. The ceiling steps up in the middle so we do not believe there is any t-bar existing above.	Yes, allow for new t-bar ceiling in place of the previous circular drywall.	2
13.0	General	Please provide location of hoarding wall to be built during construction.	Contractor to propose a hoarding wall layout that suits their construction implementation strategy.	2
14.0	Demolition Plan	On Landlord demolition ID-1.1 we removing drywall on both sides and removing studs and insulation? What about kitchen cabinets and ceramic tile?	Refer to attached sketch SK-02 of ID-1.1 Demolition Plan for updated demolition scope and sketch SK-01 Partition Plan for updated partition scope.	2
15.0	Reflected Ceiling Demolition Plan	Drawing ID-1.2 shows walls requiring demo in N.I.C Hatch. The right side of drawing is cut off. How far back do we go?	Refer to response #14.0.	2
16.0	Demolition Plan	Demo will affect adjacent walls, and walls being demoed in N.I.C area will require painting. Please	Refer to response #14.0.	2

		clarify.		
17.0	Door Hardware	Can we use Mechanically fasten steel press door frames with side light if they don't fit in elevator?	Only as a last resort. To be reviewed during construction.	2
18.0	General	Will the landlord permit removal of a window for material delivery? If so, can this be covered by cash allowance.	No.	2
19.0	General	Door Hardware Package	The one (1) recessed drop bolt with 90 degree hold is not applicable and removed from hardware package #1.	2

Distribution:

✓	Client
✓	Project File

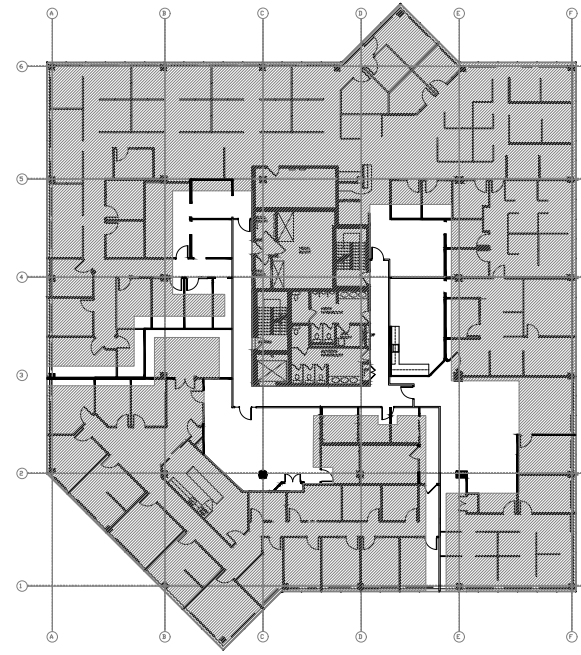


1
ID-2
PARTITION PLAN
SCALE: 1/8"=1'-0"

PARTITION LEGEND	
	EXISTING PARTITION TO REMAIN. CONTRACTOR TO ENSURE ALL EXISTING PARTITIONS AND COLLINGS ARE PATCHED, REPAIRED, SANDED AND MADE GOOD PRIOR TO FINISH APPLICATION. ALL SURFACE WITHIN SCOPE OF WORK TO BE MADE SMOOTH AND EVEN AND READY TO RECEIVE NEW FINISH.
	TYPE II TYPICAL PARTITION. FROM SLAB TO SLAB. STC 47 - ILC DESIGN #408 FIRE RATINGS: 0 HOUR(S) TBC. REFER TO DOOR, HARDWARE, AND NEW SECTION DRAWINGS FOR DETAILS.
	FIRE RATED PARTITION. EXISTING DEMISING PARTITION. CONTRACTOR TO ENSURE ALL OPENINGS ABOVE CEILING ARE SEALED WITH FIRE CAULKING (HOLES, PIPES, PENETRATIONS, CONDUITS, DUCTWORK PENETRATIONS)
	NEW SINGLE DOOR. ENSURE 2'-0" CLEARANCE ON FULL THE SIDE OF DOOR AND 1'-0" ON PUSH SIDE MINIMUM UNLESS OTHERWISE NOTED. REFER TO DOOR AND HARDWARE SCHEDULE FOR DOOR SIZES, MATERIALS AND HARDWARE.
	NEW DOUBLE DOORS. REFER TO DOOR AND HARDWARE SCHEDULE FOR DOOR SIZES, MATERIALS AND HARDWARE.
	INDICATES DOOR NUMBER.
	INDICATES ROOM NUMBER.

PARTITION SPECIFIC NOTES

- REFER TO PROJECT GENERAL INSTRUCTIONS & NOTES DRAWINGS ALSO FOR PARTITION RELATED REQUIREMENTS
- PATCH, REPAIR AND REINSTATE DRYWALL FOLLOWING CONDUIT INSTALLATION.
- CONTRACTOR TO VERIFY ALL THROAT SIZES OF DOOR FRAMES.
- CONTRACTOR TO PROVIDE STRUCTURAL POSTS AND/OR BRACING AS REQUIRED TO SEISMICALLY SUPPORT NEW PARTITIONS TO ENSURE STRUCTURAL INTEGRITY. WHERE PARTITIONS ARE NOT FULL-HEIGHT, THEY REQUIRE DIAGONAL BRACING FROM THE TOP OF THE WALL TO UNDERSIDE OF STRUCTURE.
- CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED BEHIND DRYWALL FOR ALL WALL MOUNTED EQUIPMENT. PATCH, REPAIR AND REINSTATE DRYWALL FOLLOWING BLOCKING INSTALLATION.
- FIRE STOPPING IS REQUIRED WHERE ANY ELECTRICAL, PLUMBING AND MECHANICAL SERVICES PENETRATE THROUGH EXISTING OR NEW FIRE RATED ASSEMBLIES. REFER TO ENGINEER'S DRAWINGS FOR LOCATIONS AND SPECIFICATIONS.
- CONTRACTOR TO INSTALL TEMPORARY HOARDINGS WALLS 2 1/4" STEEL STUD WITH DRYWALL- SLAB TO UNDERSIDE OF SUSPENDED CEILING.
- CONTRACTOR TO ENSURE ALL OPENINGS ARE SEALED & FIRE CAULKING, PENETRATION, DUCTWORK, PIPES, ETC... ENSURE BAFFLE IS CONSTRUCTED TO SLAB UPPER ROOF DECK.



KEY PLAN

CLIENT UNDERSTANDING

THE UNDERSIGNED CLIENT HAS REVIEWED THIS SET OF DOCUMENTS AND AGREES THAT:

- THE CLIENT IS SATISFIED WITH THE SCOPE OF WORK AGREED UPON.
- ANY CHANGES, ADDITIONS, OR REVISIONS ARE SUBJECT TO RE-PRICING

CLIENTS SIGNATURE: _____ DATE: _____

4	07/28/2025	Issued for APPENDUM ID-02
3	07/14/2025	Issued for Tender
2	06/12/2025	Issued for 40% Submission
1	05/02/2025	Issued for 20% Submission
NO.	DATE	REVISION

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE DESIGNER. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM, NO REPRODUCTION MAY BE MADE WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER, AND WHEN MADE, MUST BEAR THEIR NAMES.

THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HERE-IN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE DESIGNER FOR ADJUSTMENT.

STAMP	PROJECT NORTH
A DETAIL NUMBER B LOCATION ON DRAWING NO. C DRAWING NUMBER	A DETAIL NUMBER B LOCATION ON DRAWING NO. C DRAWING NUMBER

ASDG

ATKINSON SCHRÖETER
DESIGN GROUP

410 Laurier Avenue West, Suite 110
Ottawa, ON K1R 1B7
Tel: 613-563-3797

PROJECT
MERKBURN (DEMISING
WALLS)
1050 MORRISON DRIVE
3RD FLOOR
OTTAWA

DRAWING TITLE
PARTITION PLAN

SCALE AS NOTED	DRAWN BY SM/SL	DESIGNED BY SAS
DATE APRIL 23RD, 2025	CHECKED BY SAS	
PROJECT NO. 25009	DRAWING NO. ID-2	



1
ID-1.1
DEMOLITION PLAN
SCALE: 1/8"=1'-0"

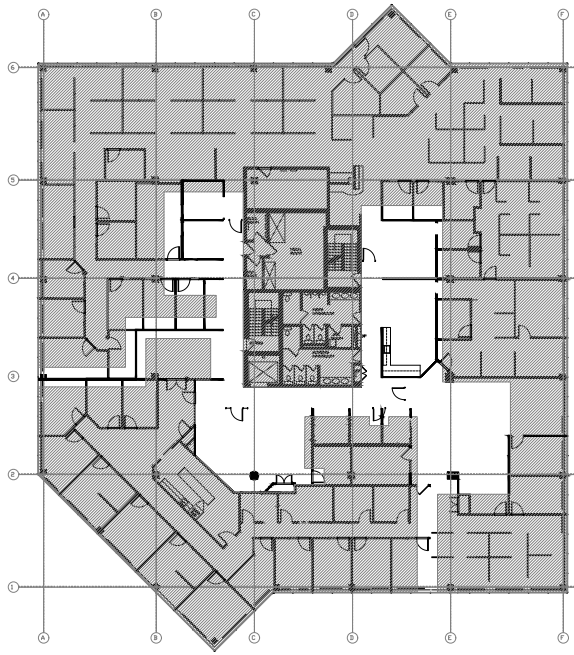
DEMOLITION LEGEND	
	AREA NOT IN CONTRACT (N.I.C.)
	EXISTING PARTITION TO REMAIN. REFER TO DEMOLITION GENERAL NOTES FOR FURTHER INSTRUCTION.
	EXISTING DOOR AND FRAME TO REMAIN.
	EXISTING PARTITION TO BE CAREFULLY REMOVED. RETAIN GMB FOR USED IN FUTURE BAFFLE CONSTRUCTION.
	EXISTING DOOR AND FRAME TO BE REMOVED & DISPOSED.
	EXISTING SIDELIGHT(S) TO BE REMOVED & DISPOSED.
	CARPET TILE (FIELD) AND BASE TO REMAIN.
	LUXURY VINYL TILE AND BASE TO REMAIN.

DEMOLITION SPECIFIC NOTES

- REFER TO PROJECT GENERAL INSTRUCTIONS AND NOTES DRAWING SHEETS ALSO FOR DEMOLITION RELATED REQUIREMENTS.
- REMOVE EXISTING DRYWALL AS REQUIRED TO INSTALL NEW POWER/DATA CONDUITS.
- REFER TO ENGINEER'S DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL DEMOLITION.
- EXISTING CEILING TO REMAIN. REMOVE DAMAGED CEILING TILES AS REQUIRED AT PARTITION REMOVAL LOCATIONS TO MATCH EXISTING. CONTRACTOR TO SITE VERIFY.
- REMOVE ANY POTENTIAL BAFFLES ABOVE EXISTING PARTITIONS BEING DEMOLISHED. CONTRACTOR TO MAKE ALLOWANCE FOR POTENTIAL BAFFLES. DESIGNER TO COORDINATE WITH ENGINEER FOR INTERFERENCES ABOVE CEILING (I.E. BAFFLES, PIPES, SHAFTS)
- REMOVE EXISTING FALSE COLUMN.



SUCCESS IS WITHIN US



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CLIENTS SIGNATURE: _____ DATE: _____

4	01/28/2025	Issued for ADDENDUM ID-02
3	07/14/2025	Issued for Tender
2	06/11/2025	Issued for 44% Submission
1	05/02/2025	Issued for 30% Submission
NO.	DATE	REVISION

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DRAWING TITLE
DEMOLITION PLAN

SCALE	DRAWN BY	DESIGNED BY
AS NOTED	SM	SAS
DATE	CHECKED BY	
APRIL 23RD, 2025	SAS	
PROJECT NO.	DRAWING NO.	
25009	ID-1.1	