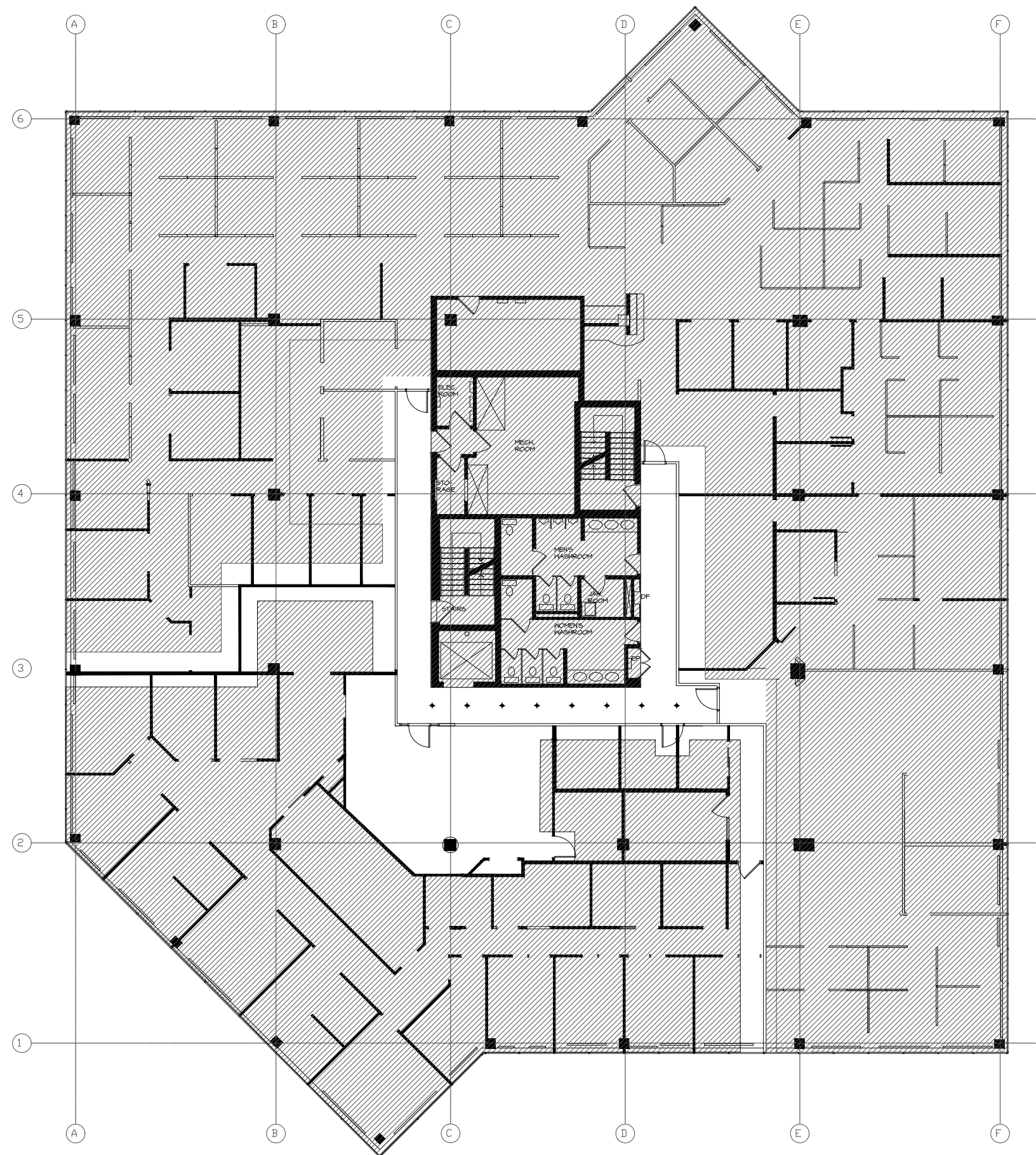


MERKBURN (DEMISING WALLS)

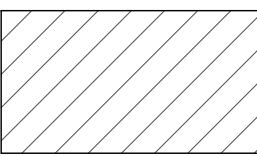
ISSUED FOR TENDER

PROJECT #25009

1050 MORRISON DRIVE
3RD FLOOR
OTTAWA, ONTARIO



KEY PLAN

 = AREA NOT IN CONTRACT

AREA IN CONTRACT - 2,155 SQFT (200 SQM)
BUILDING AREA - 16,756 SQFT (1557 SQM)
STOREYS: 3 STOREYS
■ SPRINKLERED □ NON SPRINKLERED
OCCUPANCY: GROUP D

INTERIOR DESIGN CONSULTANTS	ATKINSON SCHROETER DESIGN GROUP INC
MECHANICAL AND ELECTRICAL ENGINEERING CONSULTANTS	MCKEE ENGINEERING
ONTARIO BUILDING CODE CONSULTANT	DREDGE LEAHY ARCHITECTS INC.

INTERIOR DESIGN DRAWING LIST

- ID-0.1 PROJECT GENERAL INSTRUCTIONS & NOTES
- ID-1.1 DEMOLITION PLAN
- ID-1.2 REFLECTED CEILING DEMOLITION PLAN
- ID-2 PARTITION PLAN
- ID-3 REFLECTED CEILING PLAN
- ID-4 POWER, VOICE AND DATA PLAN
- ID-5 FLOOR FINISHES PLAN
- ID-6 WALL FINISHES PLAN
- ID-7 DOOR, HARDWARE SCHEDULE, WALL SECTIONS AND DETAILS

JULY 14, 2025



PROJECT GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE REVIEW OF THIS DRAWING PACKAGE IN CONJUNCTION WITH ALL OTHER DRAWINGS INCLUDING OTHER CONSULTANT'S DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS & SPECIFICATIONS MUST BE REPORTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO CONTRACT AWARD. REFER TO MECHANICAL & ELECTRICAL CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR ALL MECHANICAL AND ELECTRICAL SCOPE OF WORK REQUIRED.
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT CONSTRUCTION DRAWINGS AND SPECIFICATIONS INCLUDING ALL THOSE BY MECHANICAL AND ELECTRICAL ENGINEERS, STRUCTURAL ENGINEERS AND AUDIO VISUAL CONSULTANTS, AS REQUIRED TO ENSURE PROPER COORDINATION AND INSTALLATION.
3. THE CONTRACTOR IS REQUIRED TO VISIT SITE, VERIFY, AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS.
4. CONTRACTOR TO ENSURE THAT ALL WORK CONFORMS WITH THE ONTARIO BUILDING CODE AND ALL APPLICABLE LOCAL BYLAWS. CONTRACTOR MUST REPORT ANY DISCREPANCIES OR NON-CONFORMANCE WITH CURRENT CODES AND BYLAWS TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK.
5. CONTRACTOR TO PROVIDE CONSTRUCTION SCHEDULE TO CONSULTANTS AND CLIENT WITHIN FIVE (5) BUSINESS DAYS OF CONSTRUCTION CONTRACT AWARD. SCHEDULE UPDATES ARE TO BE ISSUED ON A REGULAR BASIS, TWO (2) BUSINESS DAYS PRIOR TO CONSTRUCTION MEETINGS.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ASSOCIATED CONSTRUCTION DOCUMENTS SUCH AS REQUEST FOR INFORMATION (RFI), SHOP DRAWING & CONTINGENTATIVE CHANGE NOTICE (CCN) LOGS, LOGS ARE TO BE ISSUED TO THE CONSULTANTS ON A REGULAR BASIS, TWO (2) DAYS PRIOR TO CONSTRUCTION MEETINGS.
7. ALL INTERIOR FINISHES ARE TO CONFORM WITH ALL SMOKE DEVELOPED CLASSIFICATIONS AND FLAME SPREAD RATINGS OF A MATERIAL OR ASSEMBLY FOR WALL, CEILING FINISH MATERIALS & SURFACE COATINGS AS PER THE ONTARIO BUILDING CODE.
8. CONTRACTOR SHALL NOT COMMENCE ANY WORK UNTIL RECEIPT OF THE BUILDING PERMIT AND ABIDE BY ALL THE BUILDING PERMIT REGULATIONS.
9. IT IS THE CONDITION OF THIS CONTRACT, THAT THE CONTRACTOR WILL, IN THE PERFORMANCE OF THE SERVICES FOR THE COMPANY, AS DESCRIBED IN THIS CONTRACT, COMPLY WITH ANY AND ALL MUNICIPAL, PROVINCIAL, AND FEDERAL LAWS, REGULATIONS AND BYLAWS INCLUDING, BUT NOT LIMITED TO, THOSE CONCERNING THE ENVIRONMENT AND THE DISPOSAL OF WASTE. IT IS INCUMBENT UPON THE CONTRACTOR TO INFORM ITSELF OF ANY SUCH LEGISLATION AND THIS LEGISLATION. IT WILL INDEMNIFY AND HOLD HARMLESS THE COMPANY FROM ANY COSTS AND DAMAGES RESULTING FROM SUCH NON-COMPLIANCE.
10. CONTRACTOR TO ENSURE ALL TRADES COOPERATE TO FACILITATE EFFECTIVE EXECUTION OF WORK. CONTRACTOR IS RESPONSIBLE FOR THE QUALITY, TIMELY & SUCCESSFUL COMPLETION OF THEIR SUBCONTRACTORS WORK. SUBCONTRACTORS ARE RESPONSIBLE FOR THE PROTECTION OF THEIR WORK AND MATERIALS FOLLOWING DAILY COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING AND REMOVAL OF ALL DEBRIS AND MATERIALS NO LONGER NECESSARY ON THE JOB SITE. THE CONSTRUCTION SITE MUST BE BROOM SWEEP EACH DAY.
11. CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING WORK AND KEEPING PREMISES CLEAN/FREE OF DEBRIS DURING ONGOING SITE WORK. CONTRACTOR IS RESPONSIBLE FOR THOROUGH CLEANING FOLLOWING SUBSTANTIAL COMPLETION OF THE CONSTRUCTION SITE SCOPE.
12. ALL WORK ON THE CONSTRUCTION SITE SHALL BE DONE TO THE HIGHEST POSSIBLE STANDARDS OF QUALITY & WORKMANSHIP.
13. ANY DAMAGE TO THE EXISTING BUILDING OR INTERIOR PREMISES CAUSED BY THE CONTRACTOR OR SUBCONTRACTORS DURING THE EXECUTION OF CONSTRUCTION OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR TO THE SAME CONDITION & UTMOST QUALITY, AT THEIR OWN EXPENSE.
14. CONTRACTOR SHALL REMOVE EXISTING EQUIPMENT MATERIAL, ELEMENTS AND FINISHES NOT REQUIRED FOR THIS PROJECT AS STIPULATED IN THE CONSULTANTS DRAWINGS & SPECIFICATIONS.
15. EXISTING ELEMENTS SUCH AS DRYWALL, BULKHEADS, WALLS, ETC REMAINING & PART OF SCOPE OF WORK MUST BE SANDED AND REPAIRED & MADE SMOOTH & LEVEL, AS NECESSARY FOR GOING OVER. CEILING TILES DAMAGED AND/OR SOILED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRINDING AND/OR FILLING OF ALL CONCRETE FLOOR SLAB IRREGULARITIES & PENETRATIONS AND MAKE SMOOTH SURFACE READY TO RECEIVE NEW FLOOR FINISH.
18. CONTRACTOR TO CARRY AN ALLOWANCE OF AREA 3% AS REQUIRED IN SCOPE OF WORK TO ALLOW FOR LEVELING OF SLAB, INCLUDING AT ALL DOOR AND DOOR FRAME INSTALLATION LOCATIONS. FINAL ALLOWANCE PERCENTAGE TO BE CONFIRMED BY PROJECT TEAM AT CONSTRUCTION MEETINGS. THE CONTRACTOR TO AWARD OFS OF CONSTRUCTION CONTRACT.
19. CONTRACTOR TO REMOVE ALL EXISTING SUSPENDED CEILING TILES 5 % AS REQUIRED AND PROVIDE ALLOWANCE FOR REPLACEMENT OF EXISTING DAMAGED CEILING TILES AND CEILING TILES DAMAGED DURING REMOVAL & REINSTATEMENT. ALLOWANCE FOR REPLACEMENT OF SUSPENDED CEILING TILE TO BE DETERMINED BY PROJECT TEAM DURING TENDERING AND PRIOR TO AWARD OF CONTRACT.
20. CONTRACTOR TO RETAIN ALL LEFTOVER WALL & FLOOR FINISHES AND TURN OVER TO OWNER AT THE COMPLETION OF PROJECT (PAINT, CARPET, WALL TILES, WALL COVERINGS, ETC.), AS SPECIFIED BY THE CONSULTANTS DRAWINGS & SPECIFICATIONS.
21. THE CLIENT IS RESPONSIBLE FOR ALL DEVICES OR EQUIPMENT RELATED TO CABLING, COMMUNICATION AND SECURITY ASSOCIATED WITH THE PROJECT UNLESS OTHERWISE NOTED.
22. THE CLIENT MUST PROVIDE SPECIFICATIONS FOR ALL AUDIO VISUAL EQUIPMENT FOR CONTRACTOR COORDINATION PRIOR TO AWARD OF CONTRACT.
23. ALL CONSTRUCTION MATERIALS & PRODUCTS USED SUCH AS PAINTS, ADHESIVES, LACQUERS, CLEANING SUPPLIES, TO CONTAIN NO VOLATILE ORGANIC COMPOUNDS (VOCs) UNLESS SPECIFICALLY INDICATED.
24. PRIOR TO THE FURNITURE DELIVERIES & INSTALLATION DATES, CONTRACTOR TO TAKE PHOTOGRAPHS / VIDEOS OF COMPLETED EXISTING SITE CONDITIONS TO AVOID ANY POTENTIAL OF CLAIMS AGAINST THE CONTRACTOR DURING THE COURSE OF THE FURNITURE INSTALLATION. CONTRACTOR TO ENSURE VIDEOS ARE DATE/TIME STAMPED & INCLUDE DESCRIPTION OF LOCATIONS AND TYPES OF DAMAGE TO FINISHES, INTERIOR ELEMENTS, ETC. DAMAGES IDENTIFIED BY THE CONTRACTOR MUST BE REVIEWED AND CONFIRMED BY THE PROJECT MANAGER AND/OR CONSTRUCTION MANAGER.

STORAGE AND DELIVERY GENERAL NOTES

1. ALL MATERIALS TO BE DELIVERED IN ORIGINAL PACKAGINGS OR PACKING MATERIAL AND STORED IN A DRY PROTECTED AREA ON CONSTRUCTION SITE AS PER MANUFACTURERS INSTRUCTIONS. CONTRACTOR TO COORDINATE THE DELIVERY AND STORAGE DETAILS WITH LANDLORD AND/OR PROPERTY MANAGER.
2. CONTRACTOR, WITH THE ASSISTANCE OF THE LANDLORD/PROPERTY MANAGER, SHALL REVIEW EXISTING ELEVATORS TO ENSURE LARGE ITEMS CAN BE ACCOMMODATED WITHIN THE ELEVATORS.

SHOP DRAWING GENERAL NOTES

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REVIEW AND CONFIRMATION OF HIS SUBCONTRACTORS & SHOP DRAWING ACCURACY PRIOR TO SUBMISSION TO CONSULTANTS FOR THEIR REVIEW.
2. SHOP DRAWINGS TO BE PROVIDED BY THE CONTRACTOR FOR DESIGNERS REVIEW PRIOR TO FABRICATION AND INSTALLATION. DESIGNER WILL REVIEW WITHIN THREE (3) BUSINESS DAYS. THE CONTRACTOR AND HIS SUB-TRADES ARE RESPONSIBLE TO VERIFY SITE CONDITIONS, OBTAIN NECESSARY DIMENSIONS FOR LOCATION OF NEW NEW SPECIALTY MILLWORK, CEILING DETAILS, ETC. PRIOR TO FABRICATION AND INSTALLATION. ALL SHOP DRAWINGS SUBMITTED FOR CONSULTANT REVIEW MUST INCLUDE CONFIRMATION THAT THE CONTRACTOR HAS THOROUGHLY REVIEWED THEIR SUB-TRADES SHOP DRAWINGS (E-Stamp DATE) BY INCLUDING A SIGNATURE FROM THE GENERAL CONTRACTOR NOTING THE SHOPS HAVE BEEN REVIEWED AND CONFORM TO THE DRAWINGS. SHOP DRAWINGS WITHOUT THIS NOTE/STAMP WILL BE REJECTED BY THE DESIGNER.
3. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS, CONCERNS, WITH METHOD OF FABRICATION, DRAWING DETAILS, SITE CONDITIONS, ETC. PRIOR TO PREPARATION/SUBMISSION OF SHOP DRAWINGS, FABRICATION AND INSTALLATION ON SITE.

CONTROL SAMPLES GENERAL NOTES

1. DUPLICATE CONTROL SAMPLES OF ALL FINISHES TO BE PROVIDED TO DESIGNER

FOR REVIEW PRIOR TO FABRICATION AND INSTALLATION.

2. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REVIEW OF CONTROL SAMPLES FOR ACCURACY PRIOR TO SUBMISSION TO DESIGNER FOR REVIEW.

EQUIPMENT GENERAL NOTES

1. REFER TO MECHANICAL & ELECTRICAL ENGINEERS DRAWINGS FOR SPECIFIC ELECTRICAL, PLUMBING AND HEATING, VENTILATION AND AIR CONDITIONING SPECIFICATIONS.

DEMOLITION GENERAL NOTES

1.0. GENERAL INSTRUCTION

1. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT CONSULTANT DRAWINGS AND SPECIFICATIONS INCLUDING, BUT NOT LIMITED TO, ALL THOSE PREPARED BY MECHANICAL ENGINEERS, ELECTRICAL ENGINEERS, OTHER, ETC.
2. CONTRACTOR TO COORDINATE WITH LANDLORD/CLIENT/BUILDING OWNER PRIOR TO START OF WORK FOR SCHEDULING OF APPROVED WORK, OF ALL SERVICES SHUT DOWNS, AND DELIVERY OF MATERIALS.
3. CONTRACTOR TO COORDINATE ALL DEMOLITION WORK WITH LANDLORD AND OBTAIN APPROVAL WHEN NECESSARY FOR SPECIAL DEMOLITION ACTIVITIES REQUIRED IN THE AREA OF CONSTRUCTION, THAT MAY AFFECT THE GENERAL COMFORT OF BUILDING OCCUPANTS DURING CONSTRUCTION.
4. CONTRACTOR TO MAINTAIN SAFE PATH OF TRAVEL TO ALL EXITS AND EXIT STAIRS. ELEVATORS AND BUILDING ENTRANCES FOR THE DURATION OF THE PROJECT.
5. IF DEMOLITION SCOPE IS SEPARATED FROM MAIN CONSTRUCTION SCOPE, LANDLORD AND/OR PROPERTY MANAGER REQUIRE A SEPARATE DEMOLITION PERMIT FROM THE CITY OF OTTAWA OR OTHER MUNICIPALITY. LANDLORD, PROPERTY MANAGER OR CONTRACTOR TO OBTAIN SUCH PERMIT.
6. CONTRACTOR IS REQUIRED TO ERECT & MAINTAIN DUST PROOF PARTITIONS FOR HOARDING TO PREVENT THE SPREAD OF DUST, FUMES AND ODORS CAUSED BY CONSTRUCTION TO OTHER PARTS OF THE BUILDING. UPON COMPLETION, REMOVE HOARDING PARTITIONS AND MAKE GOOD DAMAGED SURFACES TO LIKE NEARORIGINAL CONDITION AFFECTED BY CONSTRUCTION TO MATCH ADJACENT SURFACES.
7. REMOVE DEMOLITION MATERIAL AND DEBRIS FROM SITE ON A DAILY BASIS DURING PERFORMANCE OF WORK TO MAINTAIN A CLEAR, SAFE PATH AND ORDERLY CONSTRUCTION SITE.

2.0. PARTITION

1. CONTRACTOR IS RESPONSIBLE TO PATCH, REPAIR AND MAKE GOOD, READY TO RECEIVE NEW WALL FINISH. ALL EXISTING WALLS NOTED TO REMAIN AND WHERE EXISTING SECURITY, FIRE SAFETY EQUIPMENT, ETC. ARE REMOVED, CONTRACTOR TO ENSURE INTEGRITY OF ALL RATED & NON RATED PARTITIONS ARE MAINTAINED OR UPGRADED AS NOTED AT LOCATIONS OF DEMOLITION.
2. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD, READY TO RECEIVE NEW WALL FINISH. REFER TO NEW WALL FINISHES PLAN & SPECIFICATIONS. CONTRACTOR TO CARRY ALLOWANCE FOR THIS WORK. CONTRACTOR TO SUBMIT BID, IT IS CONTRACTORS RESPONSIBILITY TO REVIEW SITE IN DETAIL TO CATCH ANY DISCREPANCIES AND ALERT DESIGNER PRIOR TO SUBMISSION OF BID. DESIGN TEAM WILL, DURING THE TENDER & BID SUBMISSION PHASE, PREPARE & ISSUE ADDENDUM TO COVER ANY REQUIRED CHANGE TO SCOPE. ONCE CONTRACT IS AWARDED, THE APPENDUM/ADDENDAS FORM PART OF CONTRACTORS CONTRACT AND IF OMITTED IN THEIR BID SHALL BE ADDRESSED AT CONTRACTOR'S OWN EXPENSE.
3. CONTRACTOR TO REMOVE ALL EXISTING SUSPENDED CEILING TILES 5% AS REQUIRED AND PROVIDE ALLOWANCE FOR REPLACEMENT OF EXISTING DAMAGED CEILING TILES. TILES DAMAGED DURING REMOVAL AND REINSTALLATION DURING CONSTRUCTION OF NEW WORK. ALLOWANCE FOR REPLACEMENT OF SUSPENDED CEILING TILE TO BE DETERMINED BY LANDLORD AND/OR PROPERTY MANAGER PRIOR TO AWARD OF CONTRACT.
4. CAREFULLY REMOVE ANY EXISTING BASE BUILDING LIGHT FIXTURES SCHEDULED FOR REMOVAL OR RELOCATION, AS SHOWN ON ENGINEERS LAYOUT AND RETURNED TO LANDLORD OR PROPERTY MANAGER TO BE STORED FOR FUTURE USE. ANY REMAINING LIGHT FIXTURES TO BE TURNED OVER TO THE LANDLORD FOR FUTURE USE IN BUILDING.

1. CONTRACTOR TO SALVAGE EXISTING DRYWALL MATERIAL FOR USE AS PLENUM BAFFLE IN NEW CONSTRUCTION, AS SUITABLE.
2. WHERE BASE BUILDING WALL HING CONVECTORS ARE NOTED FOR REMOVAL, CONTRACTOR SHALL PATCH, FILL, REPAIR, REPLACE GYPSUM WALL BOARD AS REQUIRED, AND GENERALLY MAKE GOOD, READY TO RECEIVE NEW WALL FINISH. SHOULD REMOVAL OF CONVECTORS LEAVE HOLES IN PERIMETER WALL, THE CONTRACTOR IS TO ALLOW FOR CONTINUOUS SEAMLESS ALUMINUM PANEL TO MATCH BASE BUILDING STANDARD. CONTINUOUS ALUMINUM PANEL SHALL BE CALKED ON ALL EXPOSED EDGES AND MATCH EXISTING CONDITION.

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1. CONTRACTOR TO PATCH, SAND AND MAKE ALL SURFACE WITHIN SCOPE OF WORK READY TO RECEIVE NEW FINISH.

2. WHERE NEW PARTITIONS ARE CONSTRUCTED AT BUILDING PERIMETER CONVECTORS, CONSTRUCTION TO INCLUDE BAFFLE WITHIN CONVECTOR AS PART OF CONSTRUCTION LOGISTIC SEPARATION.

3. ALL DOOR FRAMES TO BE INSTALLED 4" FROM PARTITIONS, UNLESS OTHERWISE NOTED.

4. CONTRACTOR TO PREPARE ALL FRAMED OPENINGS FOR PARTITIONS AND GLAZING AS PER MANUFACTURERS WALL SYSTEM SPECIFICATIONS TO MAKE READY TO RECEIVE NEW DEMOUNTABLE SYSTEM PARTITIONS, GLAZING, AND FRAMES.

5. ALL NEW EXPOSED GYPSUM BOARD SURFACES TO BE TAPED, SANDED AND PRIMED READY TO RECEIVE NEW FINISHES. ALL PLENUM BAFFLES TO BE TAPED AND CALKED.

6. CONTRACTOR TO ENSURE ALL NEW PARTITIONS & PLENUM BAFFLES DO NOT INTERFERE WITH MECHANICAL OR ELECTRICAL SERVICES. CONTRACTOR TO REPORT ANY DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK.

7. ANY SPECIFIED WORK THAT IS INCOMPLETE AT SCHEDULED TIME TURNED OVER TO CLIENT IS TO BE COMPLETED AFTER WORKING HOURS. ALL AREAS OF WORK TO BE CLEANED AT THE END OF EACH SHIFT AND RETURNED TO NORMAL WORK HOURS CONDITIONS. ALL WORK TO BE COMPLETED AND TO ADDRESS FINAL DEFICIENCIES MUST BE SCHEDULED DIRECTLY WITH THE CLIENT.

8. CONTRACTOR TO INSTALL APPROPRIATE HILTI FIRESTOP CUSHIONS AT ALL CABLE TRAY PENETRATIONS THROUGH FIRE RATED OR ACOUSTICAL RATED SLAB TO SLAB PARTITION CONSTRUCTION.

9. ALL NEW PARTITIONS ERECTED TO BE SQUARE, STRAIGHT AND PLUMB.

10. CONTRACTOR TO ENSURE ALL PARTITIONS RECEIVING A MATTE OR EGGSHELL PAINT FINISH TO BE A LEVEL 4 GYPSUM BOARD FINISH. ALL PARTITIONS RECEIVING SEMI-GLOSS PAINT, GLOSS PAINT, WALL COVERING, FELT WALL FINISH, WALL WASHING WITH A LIGHT FIXTURE, ETC. MUST HAVE A LEVEL 5 GYPSUM BOARD LEVEL OF FINISH.

11. CONTRACTOR TO INSTALL APPROPRIATE FURRING CHANNEL TO SUIT REQUIREMENT FOR INSTALLATION OF PIPES, CONDUITS, ELECTRICAL OUTLET, PHONE, CABLING JACKS.

12. CONTRACTOR TO INFILL PARTITION AS REQUIRED AT DOOR REMOVAL ON TENANT SIDE. LANDLORD TO COORDINATE PATCHING, REPAIRING, AND FINISHING OF WALL & FLOOR FINISHES WITH GENERAL CONTRACTOR ON CORRIDOR SIDE.

13. CONTRACTOR TO ENSURE EXISTING DEMISING PARTITION PENETRATIONS ARE SEALED AND ALL FIRE STOPPING REQUIREMENTS ARE APPLIED.

14. CONTRACTOR TO PROVIDE STRUCTURAL POSTS AND/OR BRACING AS REQUIRED TO SEISMICALLY SUPPORT NEW PARTITIONS TO ENSURE STRUCTURAL INTEGRITY. WHERE PARTITIONS ARE NOT FULL-HEIGHT, THEY REQUIRE DIAGONAL BRACING FROM THE TOP OF THE WALL TO UNDERSIDE OF STRUCTURE.

15. CONTRACTOR TO CUT OPENING(S) IN FIRE RATED DEMISING WALL GYPSUM BOARD AS REQUIRED TO ACCOMMODATE FIRE DAMPERS(S) AND FRAME AS REQUIRED. CONTRACTOR TO ENSURE INTEGRITY OF ALL RATED & NON RATED PARTITIONS ARE MAINTAINED OR UPGRADED AS NOTED AT LOCATIONS OF DEMOLITION.

16. CONTRACTOR TO VERIFY ELEVATOR SIZE TO ACCOMMODATE DOORS, FRAMES & GLAZING. CONTRACTOR TO NOTIFY DESIGNER OF ANY DISCREPANCIES.

17. CONTRACTOR TO REMOVE ALL EXISTING SUSPENDED CEILING TILES 5 % AS REQUIRED AND PROVIDE ALLOWANCE FOR REPLACEMENT OF EXISTING DAMAGED CEILING TILES. TILES DAMAGED DURING REMOVAL AND REINSTALLATION DURING CONSTRUCTION OF NEW WORK. ALLOWANCE FOR REPLACEMENT OF SUSPENDED CEILING TILE TO BE DETERMINED BY LANDLORD AND/OR PROPERTY MANAGER PRIOR TO AWARD OF CONTRACT.

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34. CONTRACTOR TO REMOVE ALL EXISTING SUSPENDED CEILING TILES 5 %

POWER/VOICE/DATA GENERAL NOTES

1. THIS DRAWING IS FOR LOCATION AND TYPE OF SERVICE OUTLETS ONLY AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS INCLUDING OTHER CONSULTANTS DRAWINGS. ANY DISCREPANCIES BETWEEN INTERIOR DESIGN DRAWINGS, ELECTRICAL DRAWINGS AND/OR AUDIO VISUAL DRAWINGS MUST BE REPORTED TO THE DESIGNER FOR CLARIFICATION DURING THE TENDER PROCESS FOR CLARIFICATION AND/OR ADJUSTMENTS PRIOR TO CONSTRUCTION.
2. THIS DRAWING IS FOR ELECTRICAL AND TELEPHONE OUTLET LOCATION ONLY. REFER TO ELECTRICAL CONSULTANT'S DRAWINGS FOR WIRING, SCHEMATICS, PANELS AND SPECIFICATIONS.
3. THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL ELECTRICAL WORK SHOWN ON THE ENGINEER'S DRAWINGS. ALL WORK TO BE APPROVED BY ESA, THE LANDLORD AND ANY OTHER AUTHORITIES HAVING JURISDICTION.
4. FOR EXACT LOCATION OF ELECTRICAL OUTLETS INTEGRATED WITHIN OR ADJACENT TO MILLWORK, REFER TO APPLICABLE INTERIOR DESIGN MILLWORK DRAWINGS.
5. ALL DUPLEX, ELECTRICAL, VOICE/DATA OUTLETS TO BE STAGGERED 4" WHEN INSTALLED BOTH SIDES OF PARTITIONS.
6. ALL DUPLEX ELECTRICAL, VOICE/DATA OUTLETS WHEN SHOWN SIDE BY SIDE ON FLAT, TO BE GANGED BEHIND COMMON FACE PLATE, OR INSTALLED SIDE BY SIDE ALLOWING FOR MINIMUM SPACING BETWEEN COVERPLATES, AND ALIGNED WITH ONE ANOTHER ON THE WALL. CONTRACTOR TO ADVISED DESIGNER OF ANY CONCERNS OR DISCREPANCIES AND APPROVAL PRIOR TO ORDERING COVER PLATES AND FINAL INSTALLATION.
7. ALL TELEPHONE AND DUPLEX COVER PLATES, CONTROLS AND RECEPTACLES, DIMMER SWITCHES AND EMERGENCY LIGHTS TO BE WHITE UNLESS OTHERWISE NOTED. EXISTING COVER PLATES THAT ARE NOT WHITE ARE TO BE REPLACED WITH NEW WHITE COVER PLATES. CONTRACTOR TO ADVISED DESIGNER OF ANY CONCERNS OR DISCREPANCIES AND APPROVAL PRIOR TO ORDERING AND FINAL INSTALLATION.
8. SMOKE DETECTORS, FIRE ALARMS, EXIT SIGNS, ETC. AS REQUIRED BY CODE MUST BE PROVIDED BY THE CONTRACTOR AND/OR IF EXISTING AND REQUIRE RELOCATION MUST BE REMOVED AND INSTALLED BY THE CONTRACTOR. REFER TO ELECTRICAL ENGINEER'S DRAWINGS.
9. CONTRACTOR TO ENSURE THAT NO SMOKE DETECTORS, FIRE ALARMS, EXIT SIGNS, THERMOSTATS OR LIGHT SWITCHES, ETC. ARE LOCATED ON THE CENTER OF ANY WALL. SLATED FOR, SIGNAGE, ART WORK, ETC. CONTACT DESIGNER IF THERE ARE ANY DISCREPANCIES.
10. GENERAL. CONTRACTOR TO ENSURE ALL SYSTEMS FURNITURE WHIPS ARE CUT IN LENGTH TO SUIT AFTER INSTALLATION OF SYSTEMS FURNITURE IS COMPLETE. WHIP LENGTH TO BE DETERMINED BY DESIGNER.
11. WHERE FURNITURE INSTALLATION OCCURS, CONTRACTOR TO CONSULT DESIGNER AND/OR ENGINEER TO ENSURE THAT NO EQUIPMENT WILL INTERFERE WITH INSTALLATION (I.E. SMOKE DETECTORS, FIRE ALARMS, EXIT SIGNS, THERMOSTATS, LIGHT SWITCHES, ETC.)
12. ALL PLUGS LOCATED IN ENCLOSED SPACES (OFFICE, MEETING ROOMS, ETC) TO BE MOUNTED ON CENTER OF WALL AT 16" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED OR DIMENSIONED.
13. THE CLIENT IS RESPONSIBLE FOR THE SUPPLY AND INSTALLATION OF ALL CABLING, COMMUNICATION AND SECURITY ASSOCIATED WITH THE PROJECT.
14. THE CLIENT TO PROVIDE SPECIFICATIONS FOR ALL AUDIO VISUAL EQUIPMENT FOR DESIGNER COORDINATION WITH ALL CONSULTANTS FOR INCLUSION INTO THEIR DRAWINGS AND PRIOR TO THE TENDERING OF DESIGN DRAWINGS.

FLOOR FINISHES GENERAL NOTES

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER INTERIOR DESIGN DRAWINGS INCLUDING OTHER CONSTRUCTION DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS MUST BE REPORTED TO THE DESIGNER DURING THE TENDER PROCESS FOR CLARIFICATIONS AND/OR ADJUSTMENTS PRIOR TO CONSTRUCTION COMMENCEMENT.
2. CONTRACTOR TO VISIT SITE DURING TENDER PERIOD TO DETERMINE EXTENT OF TOPPING AND LEVELING OF CONCRETE SLAB REQUIRED TO MAKE READY TO RECEIVE NEW FLOORINGS.
3. CONTRACTOR TO INCLUDE FOR ALL PREPARATION REQUIRED TO ENSURE A COMPLETE AND QUALITATIVE FLOORING INSTALLATION WITH NO IMPERFECTIONS.
4. CONTRACTOR TO PROTECT ALL FINISHED FLOOR AREAS WITHIN SCOPE INCLUDING EXISTING WITH 6MM POLYPROPYLENE FLOOR PROTECTION IS NOT TO BE REMOVED UNTIL SUBSTANTIAL COMPLETION OF WORK, AND READY FOR DEFICIENCY INSPECTION(S).
5. CONTRACTOR TO APPLY HEAVY DUTY CARDBOARD AND/OR PLYWOOD SHEETS TO COVER AND PROTECT NEWLY INSTALLED OR EXISTING TILE FLOORING.
6. ALL DUPLICATE SAMPLES OF FLOORING MATERIALS AND ACCESSORIES ARE TO BE SUBMITTED TO DESIGNER FOR REVIEW AND APPROVAL UPON CONSTRUCTION CONTRACT AWARD. CONTRACTOR TO CONFIRM THAT ALL MATERIALS AND DELIVERIES WILL MEET CONSTRUCTION SCHEDULE AND ORDERED FOLLOWING SAMPLE APPROVAL BY THE DESIGNER. SUBSTITUTIONS WILL NOT BE ACCEPTED DUE TO LATE ORDERING. IN THE EVENT THAT MATERIALS ARE NOT AVAILABLE IN TIME TO MEET CONSTRUCTION COMPLETION DATES, THE CONTRACTOR SHALL PROVIDE PROOF OF DATE OF ORDER OF MATERIALS PRIOR TO REQUESTING SUBSTITUTIONS BY THE DESIGNER.
7. THE CONTRACTOR SHALL INSTALL AND CLEAN ALL NEW FLOOR FINISHES AS PER MANUFACTURER'S INSTALLATION SPECIFICATIONS AND IN TIME FOR MOVE-IN DATE.
8. ALL FLOORING MATERIALS TO BE INSTALLED PRIOR TO INSTALLATION OF BASE.
9. CONTRACTOR TO PROVIDE CARPET SERGING SAMPLES TO DESIGNER FOR APPROVAL PRIOR TO ORDERING.
10. CONTRACTOR TO PROVIDE BASE AT WALL & COLUMN AND ALONG BUILDING PERIMETER BELOW CONVECTORS TO MATCH EXISTING UNLESS OTHERWISE NOTED.
11. CARPET AND/OR LVT, TILE FLOORING PATTERNS AND DIRECTION TO BE LAID OUT BY CONTRACTOR PER FLOOR FINISHES PLAN AND FOR APPROVAL BY DESIGNER PRIOR TO COMMENCING WORK.
12. CONCRETE FLOOR IS TO BE FEATHERED AS REQUIRED DUE TO CHANGE IN FLOORING MATERIAL TO MINIMIZE TRANSITION AND ENSURE A PROPER INSTALLATION OF FLOORING MATERIALS AND TRANSITION STRIPS.
13. CONTRACTOR TO STAPLE CARPET BASE TO APPLICABLE PARTITIONS AND ENSURE STAPLES ARE NOT VISIBLE. DO NOT GLUE CARPET BASE TO PARTITIONS. CONTRACTOR TO ENSURE ALL CARPET BASE ENDS/EDGES ARE SECURED TO THE PARTITION. CONTRACTOR TO USE DOUBLE-SIDED CARPET TAPE FOR CARPET BASE APPLIED TO SURFACES THAT WILL NOT ACCEPT STAPLING.
14. ALL NEW TILE INSTALLATIONS TO RECEIVE COMMERCIAL GRADE GROUT AND SEALER FOR DURABILITY & SANITARY CONCERNS.
15. ALL NEW TILE INSTALLATIONS ARE TO COMPLY WITH THE 'TTCMAC' GUIDELINES.
16. CONTRACTOR TO SUPPLY AND INSTALL VINYL FLOOR TRANSITION STRIPS WITH COLOR AND TITE TO MATCH SPECIFICATIONS IN DRAWINGS. CONTRACTOR TO REFER TO FLOOR FINISHES DRAWINGS FOR LOCATIONS AND SPECIFICATIONS.
17. CONTRACTOR TO ENSURE THAT PROPER DOOR FUNCTION IS ACHIEVED FOLLOWING INSTALLATION OF NEW FLOOR FINISHES AND BASE.
18. IF DOOR AND DOOR FRAME INSTALLATION/OPERATION IS IMPEDED BY AN UNEVEL CONCRETE SLAB, CONTRACTOR TO MAKE LEVEL USING SELF-LEVELING COMPOUND OR GRINDING AS REQUIRED TO MAKE LEVEL. CONTRACTOR TO INCLUDE ALLOWANCE IN TENDER BID.
19. CONTRACTOR TO CARRY ALLOWANCE FOR 3%(TBC) OVERAGE (ON TOP OF PROJECT REQUIREMENT SPECIFIED) OF ALL NEW FLOORING FINISHES AND BASE OR ALL RELATED INSTALLATION MATERIALS. CONTRACTOR TO CONFIRM OVERAGE QUANTITY & IF STORAGE REQUIREMENTS ARE NEEDED WITH CLIENT/LANDLORD PRIOR TO CLOSE OF TENDER AND COORDINATION FOLLOWING COMPLETION OF CONSTRUCTION. CONTRACTOR IS NOT TO USE THE 3% OVERAGE ALLOWANCE FOR DEFICIENCY REPAIRS.
20. CONTRACTOR TO CARRY ALLOWANCE FOR REINSTATEMENT OF LANDLORD BASE BUILDING FLOOR FINISH & WALL BASE WHEN DESIGN DRAWINGS CALL FOR RELOCATION OR MODIFICATION OF A SUITE ENTRY DOOR. REFER TO LANDLORD TENANT MANUAL FOR GUIDELINES & SPECIFICATIONS REGARDING FINISHES & STANDARDS.
21. CONTRACTOR TO CARRY AN ALLOWANCE OF 5% (TBC) OF AREA IN SCOPE OF WORK TO ALLOW FOR LEVELING OF SLAB, INCLUDING AT ALL DOOR AND DOOR FRAME INSTALLATION LOCATIONS. FINAL ALLOWANCE PERCENTAGE TO BE CONFIRMED BY LANDLORD DURING TENDERING OF WORK AND PRIOR TO AWARDING OF CONSTRUCTION CONTRACT.
22. ALL INTERIOR FINISHES ARE TO CONFORM WITH ALL SMOKE DEVELOPED CLASSIFICATIONS AND FLAME SPREAD RATINGS OF A MATERIAL OR ASSEMBLY FOR WALL, CEILING FINISH MATERIALS & SURFACE COATINGS AS PER THE ONTARIO BUILDING CODE.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRINDING AND/OR FILLING OF ALL CONCRETE FLOOR SLAB IRREGULARITIES & PENETRATIONS AND BUFF/MAKE SMOOTH SURFACE READY TO RECEIVE NEW FLOOR FINISHES.

WALL FINISHES GENERAL NOTES

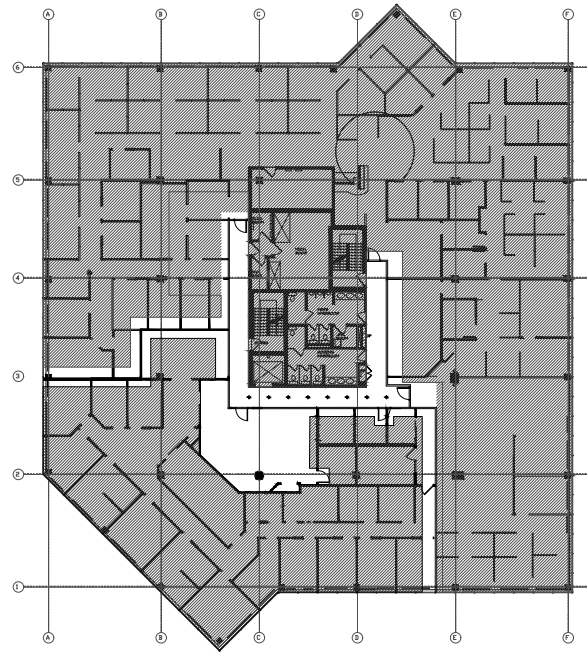
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2. ALL MATERIALS ARE TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED AND CONFIRM THAT ALL DELIVERIES WILL MEET CONSTRUCTION SCHEDULE COMPLETION DATES. THE CONTRACTOR SHALL PROVIDE PROOF OF DATE FOR ORDER OF MATERIALS PRIOR TO REQUESTING SUBSTITUTIONS.
3. THE CONTRACTOR SHALL PROVIDE CONTROL SAMPLES FOR APPROVAL BY DESIGNER OF ALL WALL FINISHES SPECIFIED. 12" x 12" SAMPLES TO BE TAGGED ACCORDING TO FINISHES LEGEND. ALL WALL FINISHES SAMPLES SHALL BE APPROVED BY DESIGNER PRIOR TO ORDERING & APPLICATION.
4. UNLESS OTHERWISE NOTED, ALL EXISTING SURFACES WHERE INDICATED AND NEW PAINTED PARTITIONS TO BE FINISHED AS FOLLOWS: PRIME WITH ONE COAT LATEX SEALER, SAND ALL SURFACES, REPAIR DEPRESSIONS, ETC. WITH DRYWALL COMPOUND. SPOT PRIME ALL PATCHED AREAS. SAND, APPLY ONE FINISH COAT PAINT (COLOUR AS SPECIFIED). AFTER COAT HAS DRIED, RE-SAND AND FINISH WITH ONE COAT PAINT OF COLOUR SPECIFIED, UNLESS OTHERWISE INDICATED.
5. EXCEPT WHERE OTHERWISE NOTED, PAINT FINISH FOR WALLS & DOORS TO BE LATEX FINISH WITH SATIN OR EGGSHELL SHEEN. DOOR FRAMES TO BE SEMI-GLOSS SHEEN.
6. ONCE PAINT HAS CURED, FINISHES TO BE DURABLE AND RESISTANT TO ENABLE CLEANING OF FINGER MARKS AND MINOR SCUFFING WITHOUT DAMAGING THE ORIGINAL PAINT SHEEN. PAINT REQUIRES 45 DAYS TO FULLY CURE PRIOR TO CLEANING.
7. ALL DARK COLOURS ARE TO RECEIVE MINIMUM 3 COATS OF PAINT TO ENSURE PROPER COVERAGE OF THE WALL SURFACES, DOORS, DOOR FRAMES & GLASS FRAMING.
8. ALL NEW DOORS, DOOR FRAMES AND GLAZING FRAMES TO BE PAINTED UNLESS OTHERWISE NOTED. ALL EXISTING DOORS AND DOOR FRAMES IN CONTRACT AREA TO BE PAINTED UNLESS OTHERWISE NOTED. REFER TO BOTH THE DOOR AND FRAME SCHEDULE & WALL FINISHES DRAWINGS FOR LOCATIONS AND FINISH.
9. ALL EXISTING DOOR SILENCERS TO BE REMOVED PRIOR TO PAINTING DOORS AND FRAMES. CONTRACTOR TO RE-INSTALL DOOR SILENCERS AFTER PAINT HAS DRIED.
10. CONTRACTOR SHALL PRIME/SEAL AND PAINT DOORS ON ALL EXPOSED EDGES. REFER TO BOTH THE DOOR AND FRAME SCHEDULE AND WALL FINISHES DRAWINGS FOR LOCATIONS AND FINISH. CONTRACTOR SHALL NOT PAINT OVER U.L.C LABELS ON DOORS AND FRAMES.
11. CONTRACTOR MUST SEAL ALL EDGES OF THE DOOR. MANUFACTURERS OF WOOD DOORS REQUIRE SEALING ON ALL EDGES OR, WARRANTY IS NULL AND VOID.
12. ALL METAL/SOLID CORE WOOD OR STEEL DOORS AND FRAMES TO BE PAINTED WITH 2 COATS OF PRIMER ONLY. BRD COAT OF PAINT TO BE ADDED AS REQUIRED). REFER TO DOOR AND HARDWARE SCHEDULE AND WALL FINISHES DRAWINGS FOR DETAILS.
13. CONTRACTOR TO USE ENVIRONMENTALLY FRIENDLY, NON-TOXIC WATER BASED PAINTS WITH ZERO VOLATILE OMISSION COMPOUNDS (VOC'S).
14. ALL WALL TILE INSTALLATIONS TO RECEIVE COMMERCIAL GRADE GROUT AND SEALER FOR DURABILITY & SANITARY CONCERNS.
15. ALL WALL TILE INSTALLATIONS ARE TO COMPLY WITH THE 'TTCMAC' GUIDELINES.
16. PAINTER IS RESPONSIBLE TO ENSURE APPROPRIATE APPLICATION OF PRIMER/PAINT ON SURFACE TO BE PAINTED.
17. BASE BUILDING FIRE HOSE CABINET FRAME & DOOR TO BE PAINTED TO MATCH DOOR FRAMES UNLESS STAINLESS STEEL IS SPECIFIED. IF STAINLESS STEEL IS SPECIFIED, NO PAINT FINISH REQUIRED.
18. SUPPLY & INSTALL WINDOW FILM APPLIED TO INSIDE FACE OF FHC CABINET DOOR GLASS WITH CUT OUT LETTERS SPELLING: FHC. FILM TO BE 3M PASARA, FINE CRYSTAL-SHIPPERS. NO VINYL PRODUCT SUBSTITUTE WILL BE ACCEPTED. SUBMIT FILM SAMPLE FOR DESIGNER REVIEW/APPROVAL.
19. CONTRACTOR TO CARRY ALLOWANCE FOR REINSTATEMENT OF LANDLORD BASE BUILDING WALL FINISH WHEN DESIGN DRAWINGS CALL FOR RELOCATION OR MODIFICATION OF A SUITE ENTRY DOOR. REFER TO LANDLORD TENANT MANUAL FOR GUIDELINES & SPECIFICATIONS REGARDING FINISHES AND STANDARDS.
20. ALL GYPSUM BOARD CEILING TO BE PAINTED CEILING WHITE UNLESS OTHERWISE NOTED. REFER TO DRAWINGS AND SPECIFICATIONS.
21. CONTRACTOR TO THOROUGHLY CLEAN CONVECTORS FREE OF ALL DUST AND DIRT. PREPARE TO RECEIVE NEW PAINT FINISH. 2 COMPONENT EPOXY PAINT CAPABLE OF WITHSTANDING 200 DEGREE CELSIUS DRY HEAT. CONTRACTOR TO CONFIRM WITH LANDLORD AND/OR PROPERTY MANAGER WHETHER CONVECTOR COVERS MAY BE REMOVED AND ELECTRO-STATICALLY PAINTED OFF SITE.
22. CONTRACTOR TO ENSURE THAT THE BASE BUILDING WINDOW FRAMES AT SUITE ENTRIES AND EXIT DOORS ARE TO BE PAINTED ON INTERIOR SIDE OF SUITE ONLY, UNLESS OTHERWISE NOTED.
23. CONTRACTOR TO APPLY A LEVEL 4 TO PARTITIONS RECEIVING A SATIN OR EGGSHELL PAINT FINISH. LEVEL 4 PAINT FINISH REFERS TO A SMOOTH DRYWALL FINISH READY FOR PAINTING AND INVOLVES THE APPLICATION OF AN ADDITIONAL COAT OF JOINT COMPOUND AND SANDING FOR A SURFACE FREE OF VISIBLE TAPE, FASTENERS, OR SURFACE MARKINGS AND MINOR IMPERFECTIONS. FINISH IS TYPICALLY USED WHEN THE SURFACE WILL BE PAINTED WITH FLAT PAINTS OR LIGHT TEXTURES, AND AREAS THAT WILL EXPERIENCE HEAVY TRAFFIC.
24. CONTRACTOR TO APPLY A LEVEL 5 FINISH TO PARTITIONS RECEIVING A SEMI-GLOSS OR GLOSS PAINT FINISH, WALLCOVERING OR 'WALL WASHING' WITH LIGHT FIXTURES. LEVEL 5 PAINT FINISH REFERS TO AN ADDITIONAL SKIM COAT OF JOINT COMPOUND OVER THE ENTIRE WALL SURFACE TO PROVIDE THE HIGHEST QUALITY OF FINISH.
25. ALL INTERIOR FINISHES ARE TO CONFORM WITH ALL SMOKE DEVELOPED CLASSIFICATIONS AND FLAME SPREAD RATINGS OF A MATERIAL OR ASSEMBLY FOR WALL, CEILING FINISH MATERIALS & SURFACE COATINGS AS PER THE ONTARIO BUILDING CODE.
26. ALL GNB RECEIVING FELT PANELS, SEMI-GLOSS OR GLOSS PAINT FINISH - OR - ARE BEING 'WALL WASHED' WITH A LIGHT FIXTURE OR RECEIVING 'WB' FINISH ARE TO BE A LEVEL 5 FINISH.

DOOR AND HARDWARE GENERAL NOTES

1. ALL DOORS TO BE FINISHED AS PER DOOR AND FRAME SCHEDULE. ALL NEW AND EXISTING DOORS AND FRAMES TO BE PAINTED REFER TO WALL FINISHES PLAN FOR PAINT SPECIFICATION.
2. DOOR & FRAME PAINT AND STAIN COLOUR TO MATCH SAMPLE PROVIDED BY DESIGN CONSULTANT. CONTRACTOR TO PROVIDE SAMPLES FOR APPROVAL BY DESIGN CONSULTANTS PRIOR TO COMMENCEMENT OF WORK.
3. CONTRACTOR TO SITE VERIFY CEILING HEIGHT THROUGHOUT FLOOR TO ENSURE PROPER FIT OF ALL NEW DOORS.
4. CONTRACTOR IS RESPONSIBLE FOR ENSURING DOOR SWINGS COINCIDE WITH PARTITION PLAN.
5. CONTRACTOR TO SUPPLY AND INSTALL RUBBER DOOR SILENCERS ON ALL NEW AND EXISTING DOOR FRAMES UNLESS DOOR IS RECEIVING GASKETS.
6. ALL LOCKSETS TO BE INSTALLED SO KEY LOCK IS ON OUTSIDE OF ROOM SIDE OF DOOR, UNLESS OTHERWISE NOTED.
7. ALL STAINED WOOD DOORS AND FRAMES TO BE SHOP FINISHED.
8. ALL WOOD DOORS TO BE FINISHED ON ALL EXPOSED EDGES, TOP & BOTTOM SHOULD BE SEALED IN SHOP PRIOR TO DELIVERY.
9. ALL SIDELIGHTS AND DOOR LIGHTS TO BE 1/4" THICK TEMPERED GLASS W/ LOW IRON CRYSTAL CLEAR GLAZING INSERT.
10. ALL SWING DOORS IN A BARRIER FREE PATH OF TRAVEL MUST BE 38" WIDE TO ENSURE 36" FROM FACE OF DOOR TO DOOR STOP.
11. ALL SLIDING DOORS TO BE 42" WIDE TO ENSURE 36" FROM FACE OF DOOR TO DOOR STOP.
12. ALL DOORS & FRAMES TO BE INSTALLED SQUARE, STRAIGHT AND PLUMB.
13. CONTRACTOR TO PREPARE ALL FRAMED OPENINGS (PARTITIONS AND GLAZING) AS PER MANUFACTURERS WALL SYSTEM SPECIFICATIONS TO RECEIVE NEW DEMOUNTABLE PARTITIONS, GLAZING, AND FRAMES.
14. CONTRACTOR TO REFER TO DOOR, HARDWARE, SCHEDULE, WALL SECTIONS AND SECTIONS FOR ALL SPECIFICATIONS AND PACKAGES.
15. CONTRACTOR TO VERIFY ELEVATOR SIZE TO ACCOMMODATE DOORS, FRAMES & GLAZING AND NOTIFY DESIGNER OF ANY DISCREPANCIES.



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2	06/11/2025	Issued for 40% Submission
1	04/25/2025	Issued for 80% Submission
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THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HERE-IN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE DESIGNER FOR ADJUSTMENT.

STAMP

PROJECT NORTH

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ASDG

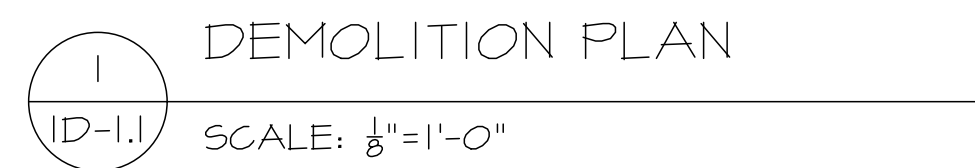
ATKINSON SCHROETER
DESIGN GROUP

410 Laurier Avenue West, Suite 110
Ottawa, ON K1R 1B7
Tel: 613-563-3797

PROJECT
MERKBURN (CAPCORP
& COMMON)
1050 MORRISON DRIVE
3RD FLOOR
OTTAWA

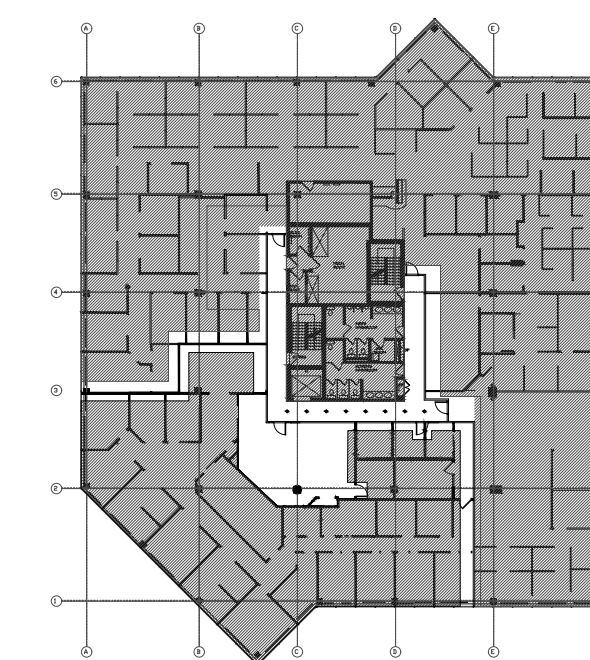
DRAWING TITLE
PROJECT GENERAL
INSTRUCTIONS & NOTES

SCALE	A5 NOTED	DRAWN BY	SM	DESIGNED BY	SAS
DATE	APRIL 23RD, 2025	CHECKED BY	SAS		
PROJECT NO.	25009	DRAWING NO.	1D-0.2		

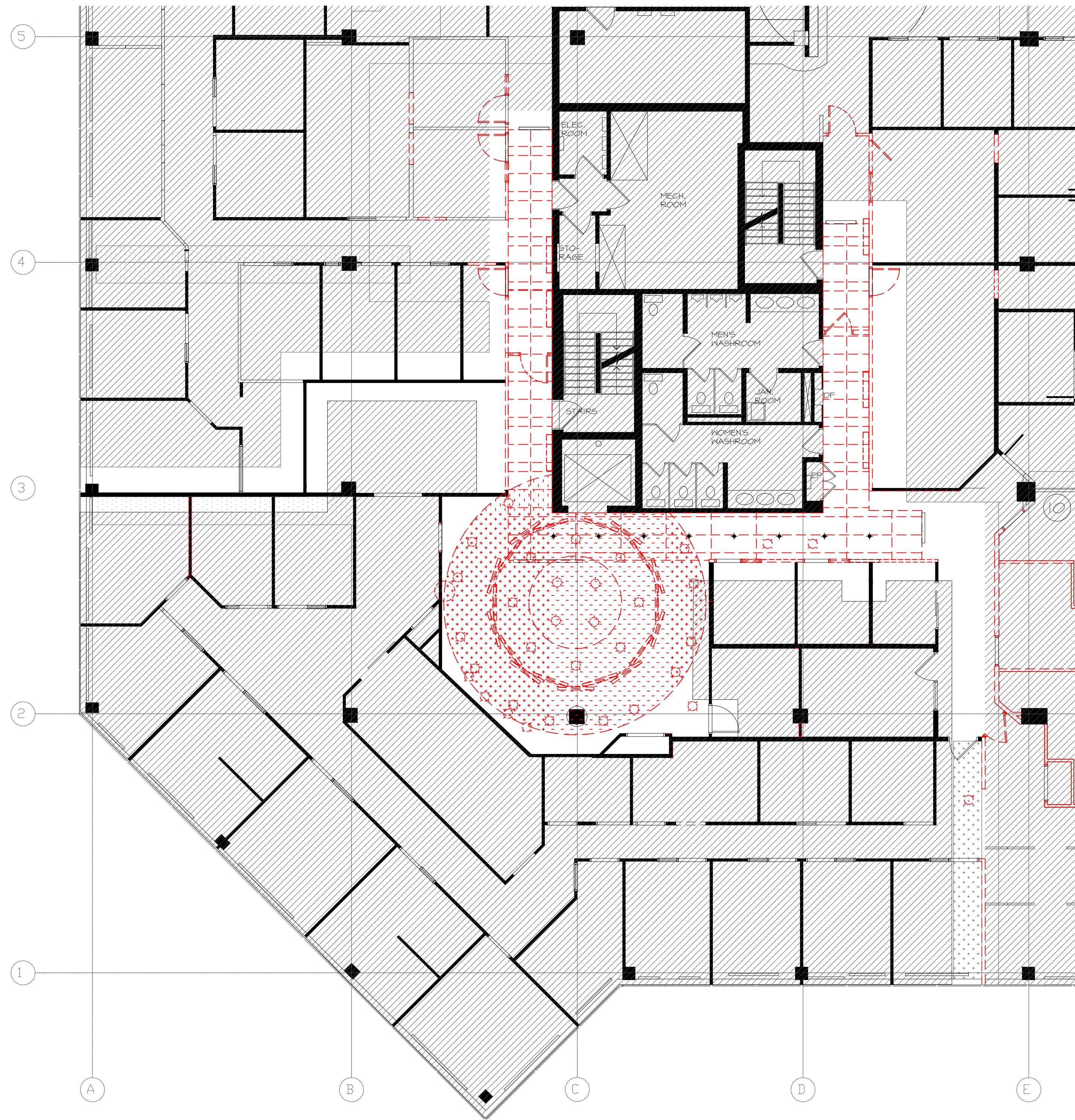


DEMOLITION SPECIFIC NOTES

- 1 REFER TO PROJECT GENERAL INSTRUCTIONS AND NOTES DRAWING SHEETS ALSO FOR DEMOLITION RELATED REQUIREMENTS.
- 2 REMOVE EXISTING DRYWALL AS REQUIRED TO INSTALL NEW POWER/DATA CONDUITS.
- 3 REFER TO ENGINEER'S DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL DEMOLITION.
- 4 EXISTING CEILING TO REMAIN. REMOVE DAMAGED CEILING TILES AS REQUIRED AT PARTITION REMOVAL LOCATIONS TO MATCH EXISTING. CONTRACTOR TO SITE VERIFY.
- 5 REMOVE ANY POTENTIAL Baffles ABOVE EXISTING PARTITIONS BEING DEMOLISHED. CONTRACTOR TO MAKE ALLOWANCE FOR POTENTIAL Baffles. DESIGNER TO COORDINATE WITH ENGINEER FOR INTERFERENCES ABOVE CEILING (I.E Baffles, PIPES, SHAFTS)
- 6 EXISTING DOOR AND FRAME TO BE REMOVED AND RELOCATED. REFER TO PARTITION PLAN FOR NEW LOCATION.
- 7 REMOVE EXISTING FALSE COLUMN



SCALE AS NOTED	DRAWN BY SM	DESIGNED BY SAS
DATE APRIL 23RD, 2025	CHECKED BY SAS	
PROJECT NO. 25009	DRAWING NO. 1D-1.1	



1
ID-1.2 REFLECTED CEILING DEMOLITION PLAN
SCALE: 1/8"=1'-0"

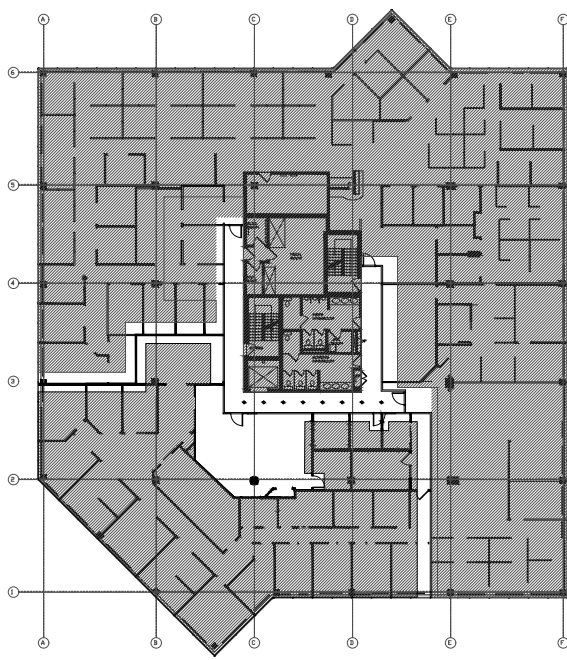
REFLECTED DEMOLITION LEGEND	
	EXISTING SUSPENDED CEILING COMPLETE WITH GRID AND TILES SYSTEM TO REMOVED IN CORRIDOR AND RECEPTION AND DEMISING WALL ALONG GRID LINE E.
	EXISTING SUSPENDED DRYWALL CEILING TO BE DEMOLISHED
	CEILING HEIGHT AS NOTED ON PLAN. TO UNDERSIDE OF THE CEILING 8'-6".
	EXISTING POTLIGHT TO BE REMOVED.
	EXISTING WALL SCORE 4'-0" LONG TO BE REMOVED.
	EXISTING BULKHEAD TO REMAIN
	EXISTING COVE LIGHTING TO BE REMOVED.

DEMOLITION SPECIFIC NOTES

- REFER TO PROJECT GENERAL INSTRUCTIONS AND NOTES DRAWING SHEETS ALSO FOR DEMOLITION RELATED REQUIREMENTS.
- REMOVE EXISTING DRYWALL AS REQUIRED TO INSTALL NEW POWER/DATA CONDUITS.
- REFER TO ENGINEER'S DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL DEMOLITION.
- EXISTING CEILING TO REMAIN. REMOVE DAMAGED CEILING TILES AS REQUIRED AT PARTITION REMOVAL LOCATIONS TO MATCH EXISTING. CONTRACTOR TO SITE VERIFY.
- REMOVE ANY POTENTIAL Baffles ABOVE EXISTING PARTITIONS BEING DEMOLISHED. CONTRACTOR TO MAKE ALLOWANCE FOR POTENTIAL Baffles. DESIGNER TO COORDINATE WITH ENGINEER FOR INTERFERENCES ABOVE CEILING (I.E Baffles, PIPES, SHAFTS)
- EXISTING DOOR AND FRAME TO BE REMOVED AND RELOCATED. REFER TO PARTITION PLAN FOR NEW LOCATION.
- EXISTING SLAB TO SLAB PARTITION
- EXISTING OPEN ABOVE NO PLENUM Baffle- CONTRACTOR TO PROVIDE SLAB TO SLAB PLENUM Baffle & TO SEAL ALL OPENINGS, PENETRATIONS, DUCTWORK, PIPES, ETC...
- EXISTING SLAB TO SLAB WALLS. CONTRACTOR TO ENSURE ALL OPENINGS ARE SEALED & FIRE CAULKING. ENSURE Baffle IS CONSTRUCTED TO SLAB & UPPER ROOF DECK.
- EXISTING BULKHEAD TO REMAIN AND FINISH TO BE PAINTED WHITE



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A	A DETAIL NUMBER	A
B	B LOCATION ON DRAWING NO.	B
C	C DRAWING NUMBER	C

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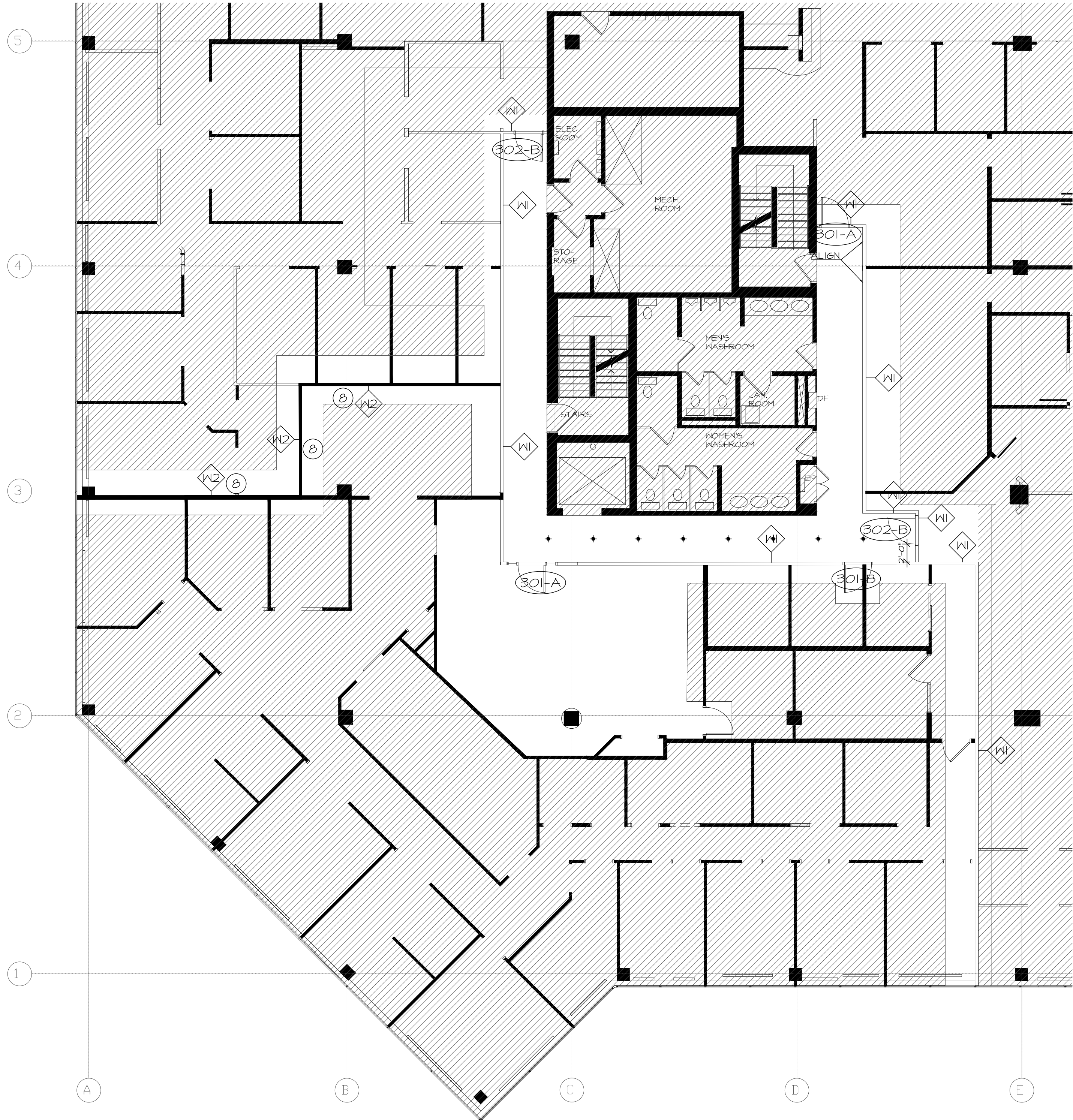
410 Laurier Avenue West, Suite 110
Ottawa, ON K1R 1B7
Tel: 613-563-3797

PROJECT
MERKBURN (DEMISING
WALLS)
1050 MORRISON DRIVE
3RD FLOOR
OTTAWA

DRAWING TITLE

REFLECTED CEILING
DEMOLITION PLAN

SCALE	AS NOTED	DRAWN BY	DESIGNED BY
DATE	APRIL 23RD, 2025	SM	SAS
PROJECT NO.	25009	CHECKED BY	SAS
		DRAWING NO.	ID-1.2



1
ID-2
PARTITION PLAN
SCALE: 1/8"=1'-0"

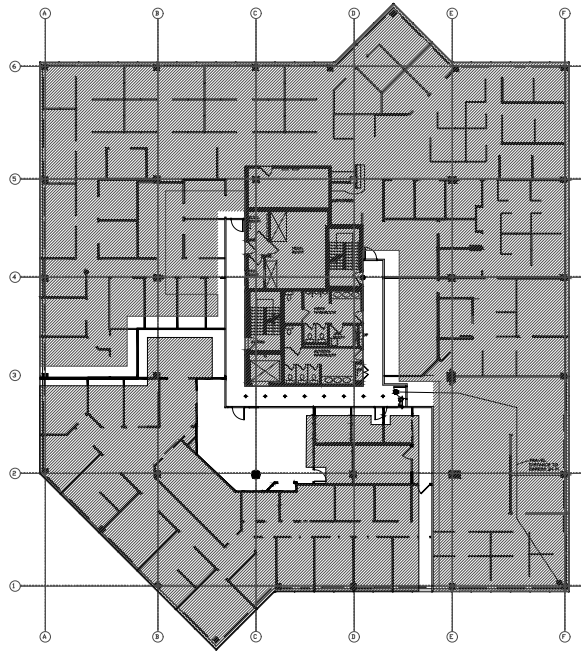
PARTITION LEGEND	
	EXISTING PARTITION TO REMAIN. CONTRACTOR TO ENSURE ALL EXISTING PARTITIONS AND COLLINGS ARE PATCHED, REPAIRED, SANDED AND MADE GOOD PRIOR TO FINISH APPLICATION. ALL SURFACE WITHIN SCOPE OF WORK TO BE MADE SMOOTH AND EVEN AND READY TO RECEIVE NEW FINISH.
	TYPE II TYPICAL PARTITION. FROM SLAB TO SLAB. STC 47 - ILC DESIGN #408 FIRE RATINGS: 0 HOUR(S) TBC. REFER TO DOOR, HARDWARE, AND NEW SECTION DRAWINGS FOR DETAILS.
	FIRE RATED PARTITION. EXISTING DEMISING PARTITION. CONTRACTOR TO ENSURE ALL OPENINGS ABOVE CEILING ARE SEALED WITH FIRE CAULKING (HOLES, PIPES, PENETRATIONS, CONDUITS, DUCTWORK PENETRATIONS)
	NEW SINGLE DOOR. ENSURE 2'-0" CLEARANCE ON FULL THE SIDE OF DOOR AND 1'-0" ON PUSH SIDE MINIMUM UNLESS OTHERWISE NOTED. REFER TO DOOR AND HARDWARE SCHEDULE FOR DOOR SIZES, MATERIALS AND HARDWARE.
	NEW DOUBLE DOORS. REFER TO DOOR AND HARDWARE SCHEDULE FOR DOOR SIZES, MATERIALS AND HARDWARE.
	NEW SINGLE DOOR C/W SIDELIGHTS AS SHOWN. REFER TO DOOR AND HARDWARE SCHEDULE FOR DOOR SIZES, SIDELIGHT SIZES, MATERIALS AND HARDWARE.
	INDICATES DOOR NUMBER.
	INDICATES ROOM NUMBER.

PARTITION SPECIFIC NOTES

- REFER TO PROJECT GENERAL INSTRUCTIONS & NOTES DRAWINGS ALSO FOR PARTITION RELATED REQUIREMENTS
- PATCH, REPAIR AND REINSTATE DRYWALL FOLLOWING CONDUIT INSTALLATION.
- CONTRACTOR TO VERIFY ALL THROAT SIZES OF DOOR FRAMES.
- CONTRACTOR TO PROVIDE STRUCTURAL POSTS AND/OR BRACING AS REQUIRED TO SEISMICALLY SUPPORT NEW PARTITIONS TO ENSURE STRUCTURAL INTEGRITY. WHERE PARTITIONS ARE NOT FULL-HEIGHT, THEY REQUIRE DIAGONAL BRACING FROM THE TOP OF THE WALL TO UNDERSIDE OF STRUCTURE.
- CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED BEHIND DRYWALL FOR ALL WALL MOUNTED EQUIPMENT. PATCH, REPAIR AND REINSTATE DRYWALL FOLLOWING BLOCKING INSTALLATION.
- FIRE STOPPING IS REQUIRED WHERE ANY ELECTRICAL, PLUMBING AND MECHANICAL SERVICES PENETRATE THROUGH EXISTING OR NEW FIRE RATED ASSEMBLIES. REFER TO ENGINEER'S DRAWINGS FOR LOCATIONS AND SPECIFICATIONS.
- CONTRACTOR TO INSTALL TEMPORARY HOARDINGS WALLS 2 1/4" STEEL STUD WITH DRYWALL- SLAB TO UNDERSIDE OF SUSPENDED CEILING.
- CONTRACTOR TO ENSURE ALL OPENINGS ARE SEALED & FIRE CAULKING, PENETRATION, DUCTWORK, PIPES, ETC... ENSURE BAFFLE IS CONSTRUCTED TO SLAB UPPER ROOF DECK.



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1	05/02/2025	Issued for 20% Submission
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STAMP	PROJECT NORTH

	A DETAIL NUMBER B LOCATION ON DRAWING NO. C DRAWING NUMBER	
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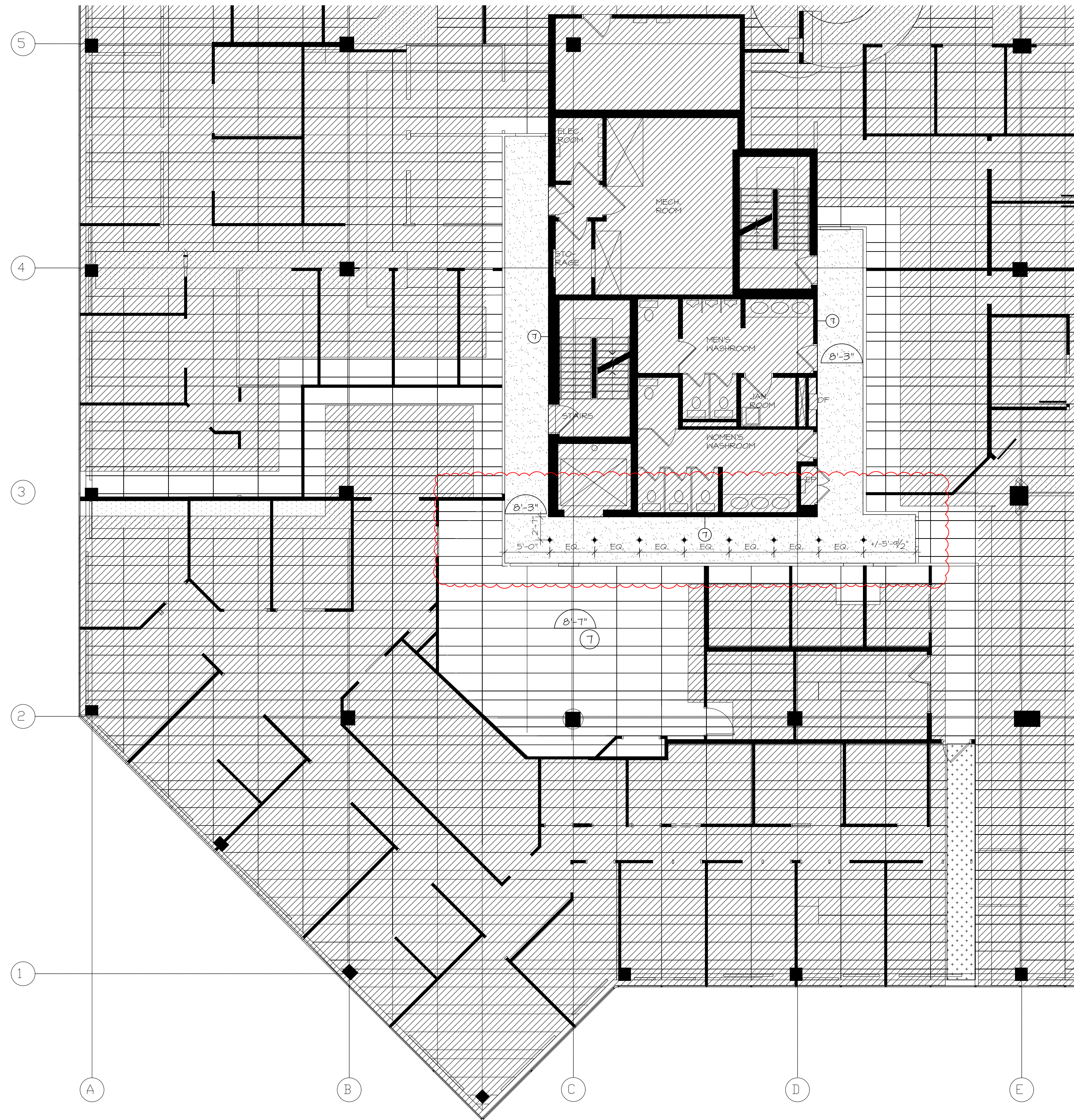
ATKINSON SCHROETER
DESIGN GROUP

410 Laurier Avenue West, Suite 110
Ottawa, ON K1R 1B7
Tel: 613-563-3797

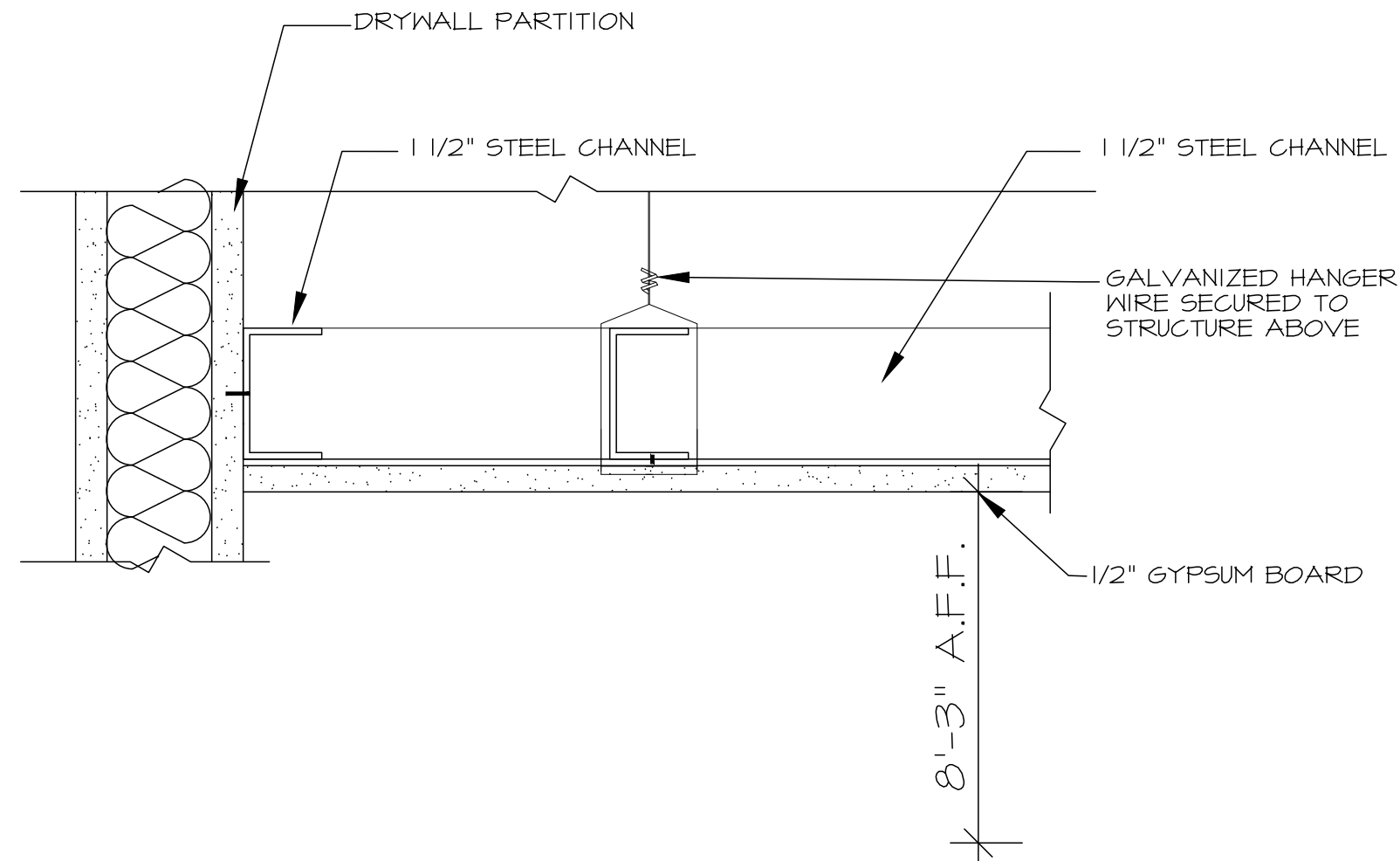
PROJECT
MERKBURN (DEMISING
WALLS)
1050 MORRISON DRIVE
3RD FLOOR
OTTAWA

DRAWING TITLE
PARTITION PLAN

SCALE AS NOTED	DRAWN BY SM	DESIGNED BY SAS
DATE APRIL 23RD, 2025	CHECKED BY SAS	
PROJECT NO. 25009	DRAWING NO. ID-2	



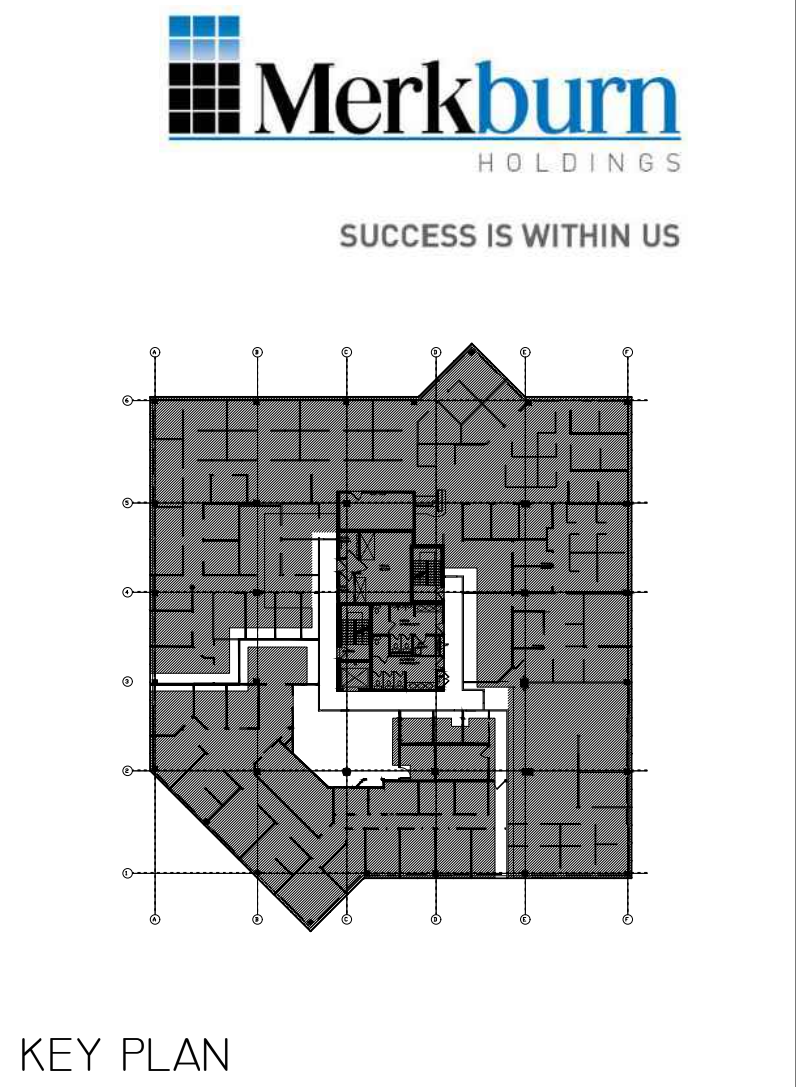
1 REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"



2 GYPSUM CEILING DETAIL
SCALE: 3/8"=1'-0"

REFLECTED CEILING LEGEND	
	FLUORESCENT LIGHT FIXTURE. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR SPECIFICATIONS.
	EXISTING SUSPENDED CEILING TILE SYSTEM AT 8'-7" +/- ABOVE FINISHED FLOOR (A.F.F.)
	NEW DRYWALL CEILING AT 8'-3" +/- ABOVE FINISHED FLOOR (A.F.F.)
	CEILING HEIGHT AS NOTED ON PLAN.
	NEW 4" LED RECESSED ROUND POTLIGHT - POP IN (#45,00) MANUFACTURER: KAG LIGHTING MODEL #1: RADRDN-F4CS-WT FINISH: WHITE SIZE: 4" LAMP TYPE: LED LED 3000K COLOUR TEMPERATURE: STEVE NANTIEL PI (613) 745-0001, 232 E. STEVE@KAG.CA REFER TO ELECTRICAL ENGINEER'S DRAWINGS
	ACCESS HATCH AT GYPSUM BOARD MANUFACTURER: BEST ACCESS DOORS TYPE: SEAMLESS TM ACCESS PANELS PRODUCT: POP-OUT RADIUS CORNERS NOTE: ACCESS HATCH TO BE TAPED, MUDDED AND SANDED INTO DRYWALL. PAINT TO MATCH ADJACENT WALL FINISH. PROVIDE FRAMING ABOVE CEILING AS REQUIRED FOR PROPER MOUNTING AND FASTENING. REFER TO ENGINEER'S DRAWINGS FOR SIZE, QUANTITY AND PLACEMENT.

- REFLECTED CEILING SPECIFIC NOTES
- REFER TO PROJECT GENERAL INSTRUCTIONS & NOTES DRAWINGS ALSO FOR REFLECTED CEILING RELATED REQUIREMENTS.
 - ALL CONTROLS AND COVER PLATES SUCH AS; LIGHT SWITCHES, FAN SWITCHES, RECEPTACLES, VOICE AND DATA PLATES TO BE COLOR, WHITE. ANY EXISTING CONTROLS AND COVER PLATES THAT ARE NOT ALREADY WHITE ARE TO BE REPLACED WITH WHITE COVER PLATES FOR CONSISTENCY. ELECTRICAL AND CABLEING CONTRACTORS TO ADVISE DESIGNER OF DISCREPANCIES AND OBTAIN DIRECTION AND APPROVAL PRIOR TO ORDERING COVER PLATES AND FINAL INSTALLATION.
 - ALL EXISTING, NEW AND RELOCATED SUSPENDED BASE BUILDING LIGHT FIXTURES AND BUILDING SERVICES TO BE SEISMICALLY BRACED AND CHAINED TO SLAB ABOVE. REFER TO ENGINEER'S DRAWINGS FOR LOCATION AND SPECIFICATIONS.
 - CONTRACTOR TO KEEP EXISTING FLUORESCENT LIGHTINGS AND REWORK TO SUIT LAYOUT.
 - REINSTATE/REPAIR CEILING GRID AND REPLACE CEILING TILES AS REQUIRED.
 - NEW SUSPENDED CEILING GRID & CEILING TILES TO MATCH EXISTING.
 - CONTRACTOR TO SEAL ALL EXISTING OPENINGS WITH FIRE CAULKING.



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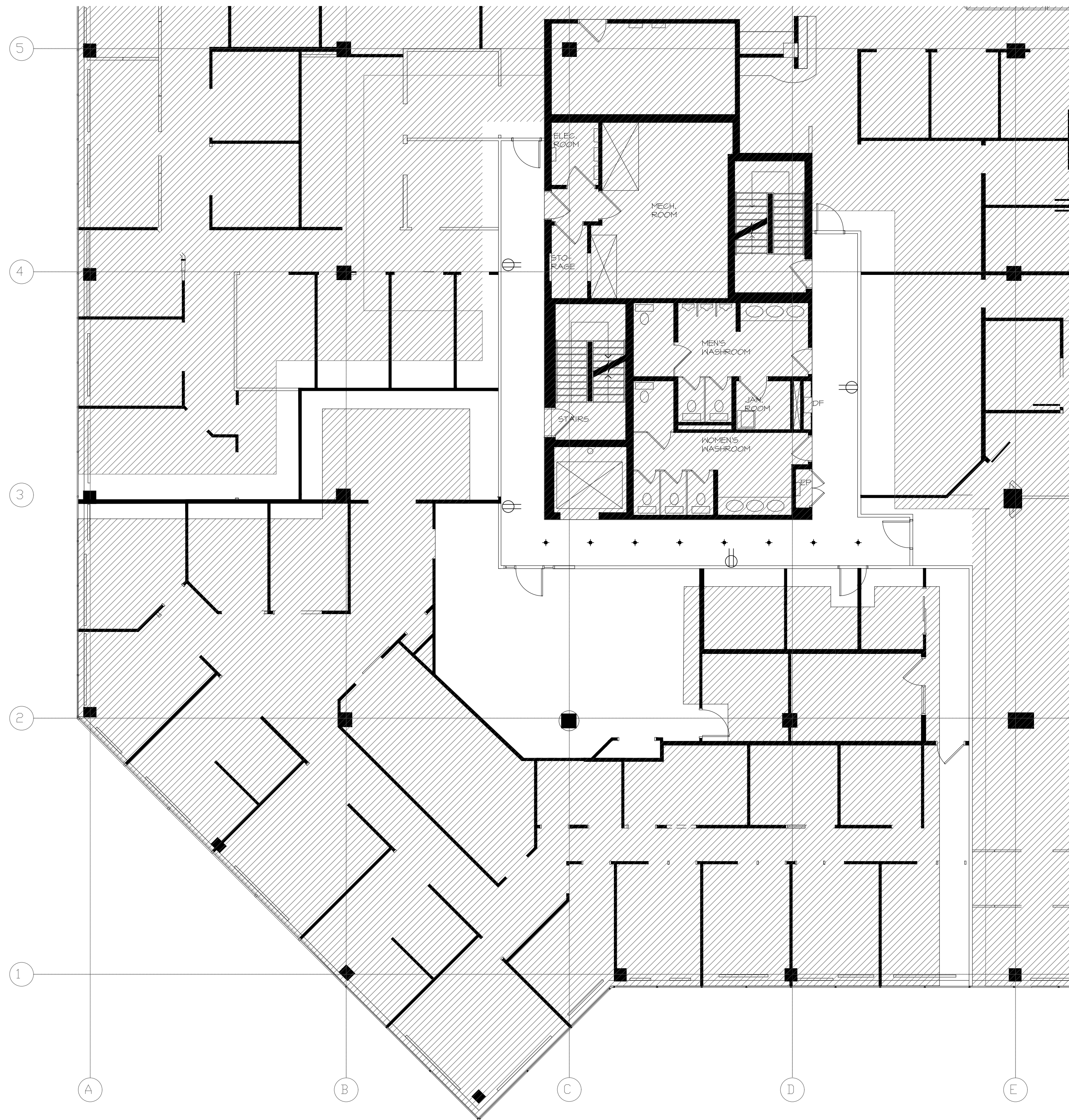
NO.	DATE	REVISION
3	07/14/2025	Issued for Tender
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1	05/02/2025	Issued for 30% Submission

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STAMP	PROJECT NORTH
A DETAIL NUMBER	A DETAIL NUMBER
B LOCATION ON DRAWING NO.	B LOCATION ON DRAWING NO.
C DRAWING NUMBER	C DRAWING NUMBER

ATKINSON SCHROETER DESIGN GROUP		
410 Laurier Avenue West, Suite 110 Ottawa, ON K1R 1B7 Tel: 613-563-3797		
PROJECT MERKBURN (DEMISING WALLS) 1050 MORRISON DRIVE 3RD FLOOR OTTAWA		
DRAWING TITLE REFLECTED CEILING PLAN		
SCALE AS NOTED	DRAWN BY SM	DESIGNED BY SAS
DATE APRIL 23RD, 2025	CHECKED BY SAS	
PROJECT NO. 25009	DRAWING NO. 1D-3	



1
ID-4

POWER, VOICE & DATA PLAN

SCALE: 1/8"=1'-0"

POWER/VOICE/DATA LEGEND

NEW STANDARD WALL MOUNTED DUPLEX OUTLET MOUNTED AT 16" O.C. A.F.F. UNLESS OTHERWISE INDICATED. REFER TO ELECTRICAL ENGINEERING FOR SPECIFICATIONS.

POWER/VOICE/DATA SPECIFIC NOTES

- 1
- REFER TO PROJECT GENERAL INSTRUCTIONS & NOTES DRAWINGS ALSO FOR POWER/VOICE/DATA SECURITY RELATED REQUIREMENTS.
- 2
- CONTRACTOR TO ENSURE ALL EXISTING OUTLETS ARE OPERABLE. REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR EXISTING AND NEW OUTLETS.
- 3
- ALL TELEPHONE AND DUPLEX COVER PLATES, CONTROLS AND RECEPTACLES, DIMMER SWITCHES AND EMERGENCY LIGHTS TO BE WHITE UNLESS OTHERWISE NOTED. EXISTING COVER PLATES THAT ARE NOT WHITE ARE TO BE REPLACED WITH NEW WHITE COVER PLATES. CONTRACTOR TO ADVISED DESIGNER OF ANY CONCERNS OR DISCREPANCIES AND APPROVAL PRIOR TO ORDERING AND FINAL INSTALLATION.

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STAMP

PROJECT NORTH

A
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DETAIL NUMBER
LOCATION ON DRAWING NO.
DRAWING NUMBER

PROJECT

MERKBURN (DEMISING WALLS)
1050 MORRISON DRIVE
3RD FLOOR
OTTAWA

DRAWING TITLE

POWER, VOICE AND DATA PLAN

SCALE	DRAWN BY	DESIGNED BY
AS NOTED	SM	SAS
DATE	CHECKED BY	
APRIL 23RD, 2025	SAS	
PROJECT NO.	DRAWING NO.	
25009	ID-4	



1
1D-5 FLOOR FINISHES PLAN
SCALE: 1/8" = 1'-0"

FLOOR FINISHES LEGEND	
	INDICATES INSTALLATION DIRECTION ON FLOOR FINISH PLAN. REFER TO FLOOR PLAN FOR EXACT LOCATION.
	CARPET TILE (FIELD) TO MATCH EXISTING. CARPET ALL AREAS IN CONTRACT TO RECEIVE 'C1' FINISH UNLESS OTHERWISE NOTED. MANUFACTURER: TARKETT SERIES: TANDUS CENTIVA COLOUR: MID-GREY/SHARD 60616 SIZE: TO MATCH EXISTING BASE: B1 INSTALL: TO MATCH EXISTING CONTACT: (JULIE GHARRON) P: (613) 242-4121 E: julie.gharron@tarkett.com
	VINYL BASE (FIELD) ALL AREAS IN CONTRACT TO RECEIVE 'B1' BASE UNLESS OTHERWISE NOTED. TO MATCH EXISTING.

- FLOOR FINISHES SPECIFIC NOTES
- REFER TO PROJECT GENERAL INSTRUCTIONS AND NOTES DRAWINGS ALSO FOR FLOOR FINISHES RELATED REQUIREMENTS.
 - PATCH AND REPAIR FLOORINGS AT PARTITION REMOVAL LOCATIONS. PATCH, REPAIR, & CLEAN SLAB AS REQUIRED TO MAKE READY TO RECEIVE NEW FLOOR FINISH.
 - PATCH REPAIR AND CLEAN SLAB AS REQUIRED TO MAKE READY TO RECEIVE NEW FLOOR FINISH.
 - CONTRACTOR TO REVIEW EXISTING CARPET INSTALLATION AND NEW DEMISING WALL LOCATION AND ADJUST TO SUIT FOR A QUALITY INSTALLATION. CONTRACTOR TO INSTALL ALL NEW WALL BASE AS REQUIRED TO SUIT NEW DEMISING PARTITIONS.

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KEY PLAN

CLIENT UNDERSTANDING

THE UNDERSIGNED CLIENT HAS REVIEWED THIS SET OF DOCUMENTS AND AGREES THAT:

- THE CLIENT IS SATISFIED WITH THE SCOPE OF WORK AGREED UPON.
- ANY CHANGES, ADDITIONS, OR REVISIONS ARE SUBJECT TO RE-PRICING.

CLIENTS SIGNATURE: _____ DATE: _____

3	07/14/2025	Issued for Tender
2	06/11/2025	Issued for 40% Submission
1	05/02/2025	Issued for 80% Submission

NO.	DATE	REVISION

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THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HERE-IN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE DESIGNERS FOR ADJUSTMENT.

STAMP

PROJECT NORTH

A. DETAIL NUMBER
B. LOCATION ON DRAWING NO.
C. DRAWING NUMBER

ASDG

ATKINSON SCHRÖETER
DESIGN GROUP
ATKINSON SCHRÖETER
410 Laurier Avenue West Suite 110
Ottawa, ON K1R 1B7
Tel: 613-563-3797

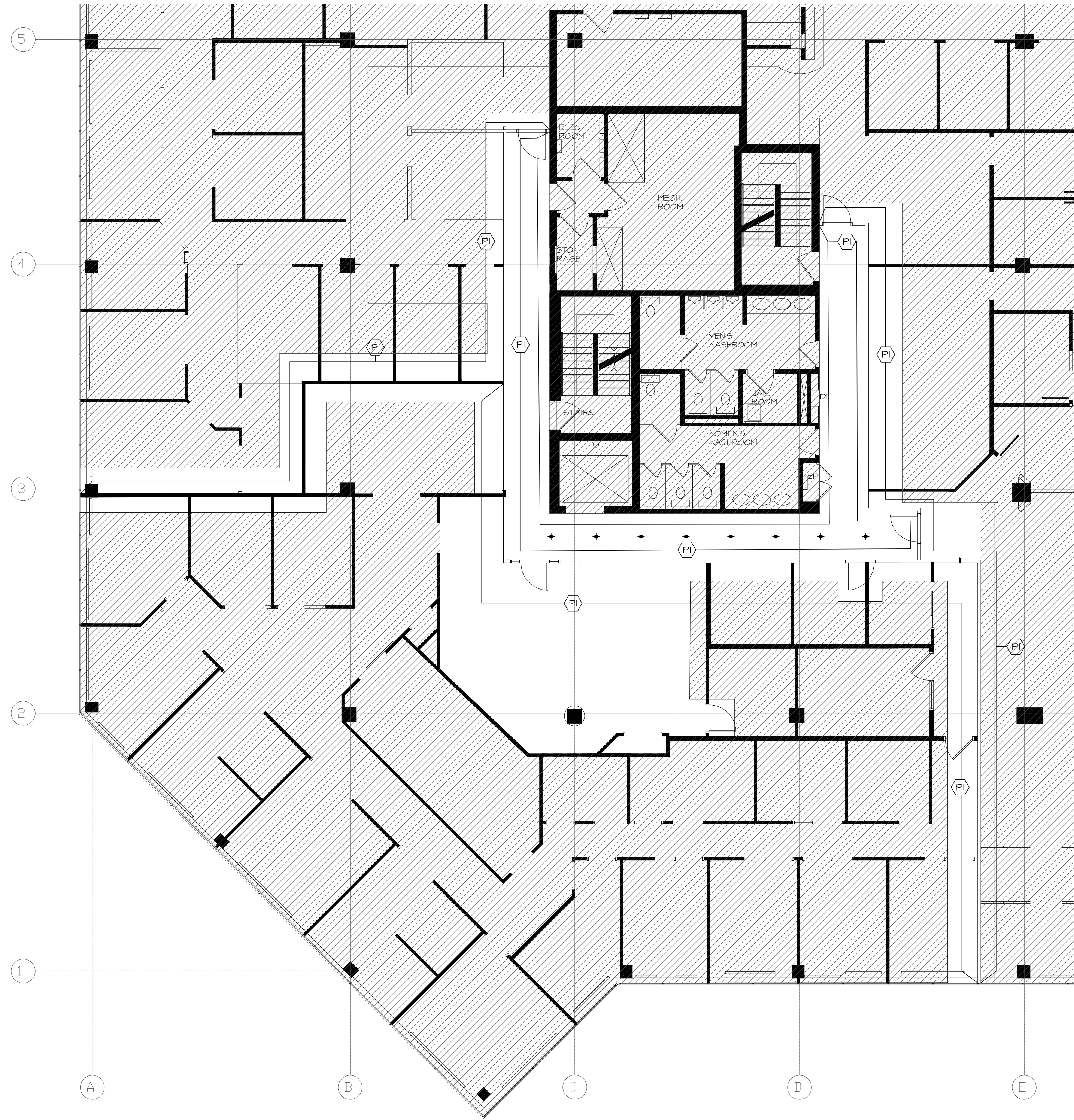
PROJECT

MERKBURN (DEMISING WALLS)
1050 MORRISON DRIVE
3RD FLOOR
OTTAWA

DRAWING TITLE

FLOOR FINISHES PLAN

SCALE	DRAWN BY	DESIGNED BY
AS NOTED	SM	SAS
DATE	CHECKED BY	
APRIL 23RD, 2025	SAS	
PROJECT NO.	DRAWING NO.	
25009	1D-5	



1
ID-6
WALL FINISHES PLAN
SCALE: 1/8" = 1'-0"

WALL FINISHES LEGEND	
(P1)	FIELD WALL PAINT (WHITE) TO MATCH EXISTING 2ND FLOOR PAINT ALL AREAS IN CONTRACT TO RECEIVE P1 WALL FINISH UNLESS OTHERWISE NOTED. MANUFACTURER: SHERWIN WILLIAMS SERIES: ZERO VOC LATEX PAINT COLOUR: ZURICH WHITE SKT626 SHEEN: SATIN
(P2)	DOOR & FRAME PAINT (DARK GREY) TO MATCH EXISTING PAINT ALL PAINT GRADE DOORS IN CONTRACT MANUFACTURER: SHERWIN WILLIAMS SERIES: ZERO VOC LATEX PAINT COLOUR: GAUNTLET GRAY SKT014 SHEEN: SATIN

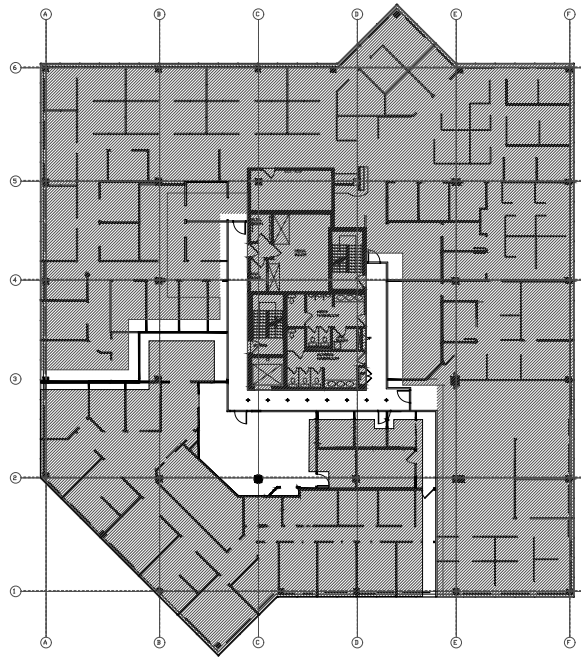
CLIENT TO CONFIRM.

WALL FINISHES SPECIFIC NOTES

- REFER TO PROJECT GENERAL INSTRUCTIONS AND NOTES DRAWINGS ALSO FOR WALL FINISHES RELATED REQUIREMENTS.
- PATCH, REPAIR AND CLEAN ALL NEW AND EXISTING WALLS AS REQUIRED TO MAKE READY TO RECEIVE NEW WALL FINISH. ALL WALLS TO BE PAINTED UNLESS OTHERWISE NOTED.
- ALL FIRE HOSE CABINET INTERIORS TO BE PAINTED TO MATCH ADJACENT WALLS.
- WHERE PARTITION IS BEING BUILT ON MULLION, CONTRACTOR TO CUT/ADJUST THE EXISTING BLINDS TO SUIT NEW CONDITION.
- EXISTING BULKHEAD TO REMAIN AND FINISH TO BE PAINTED WHITE



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STAMP	PROJECT NORTH
	N

A C	A DETAIL NUMBER B LOCATION ON DRAWING NO. C DRAWING NUMBER	A B C
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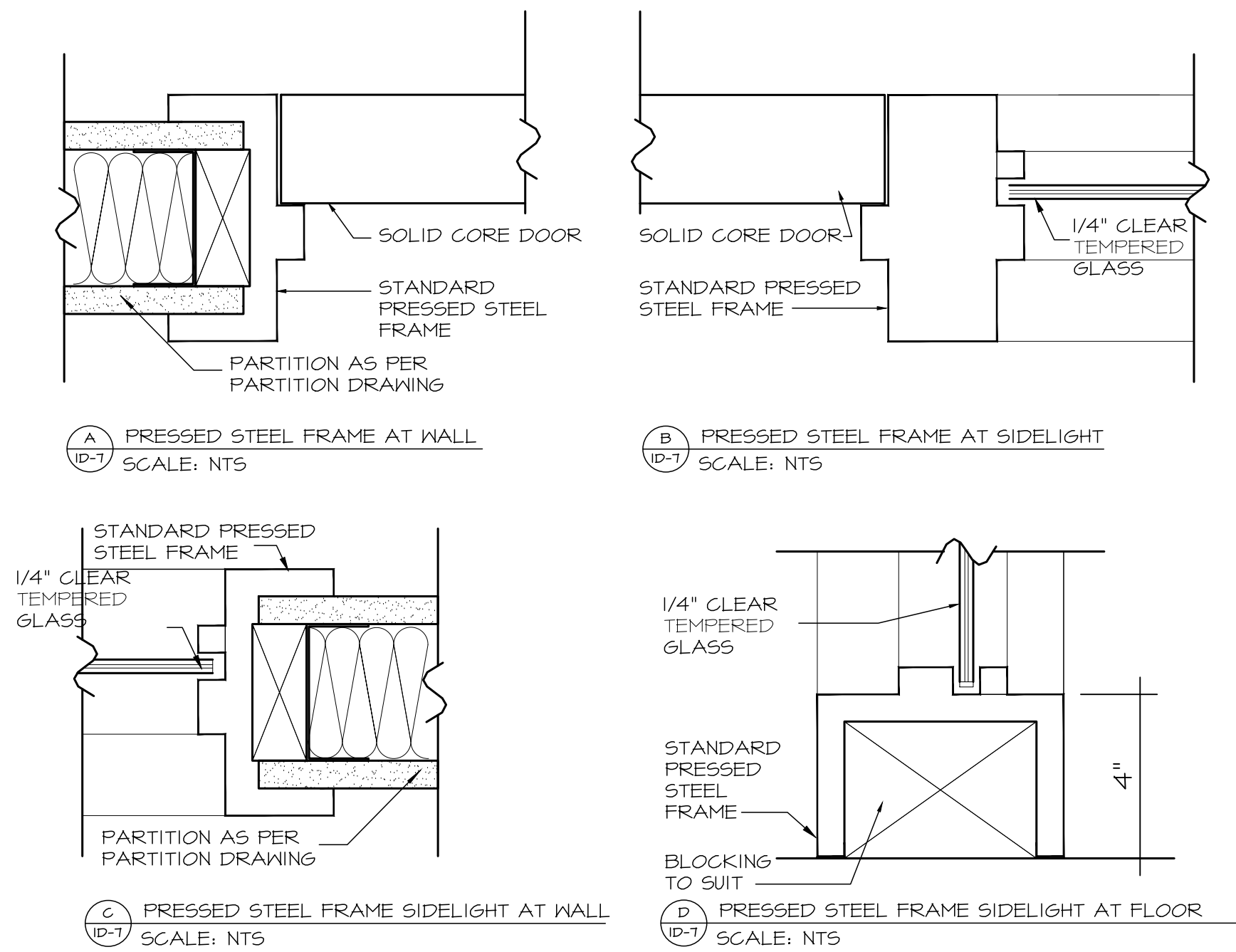
410 Laurier Avenue West, Suite 110
Ottawa, ON K1R 1B7
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PROJECT
MERKBURN (DEMISING
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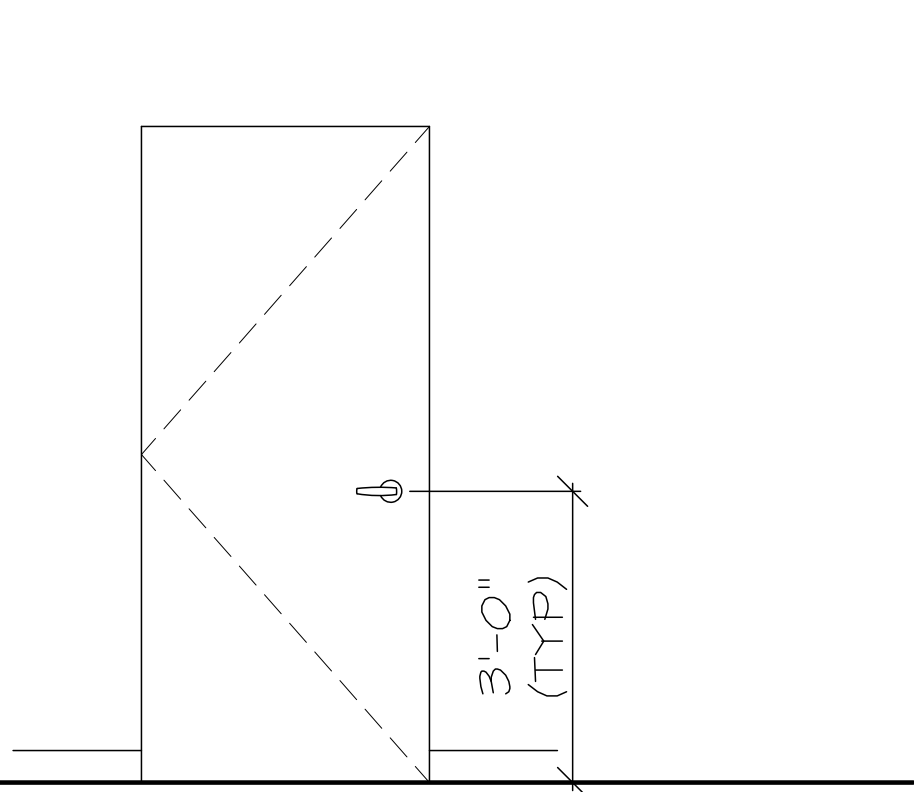
DRAWING TITLE
WALL FINISHES PLAN

SCALE AS NOTED	DRAWN BY SM	DESIGNED BY SAS
DATE APRIL 23RD, 2025	CHECKED BY SAS	
PROJECT NO. 25009	DRAWING NO. ID-6	

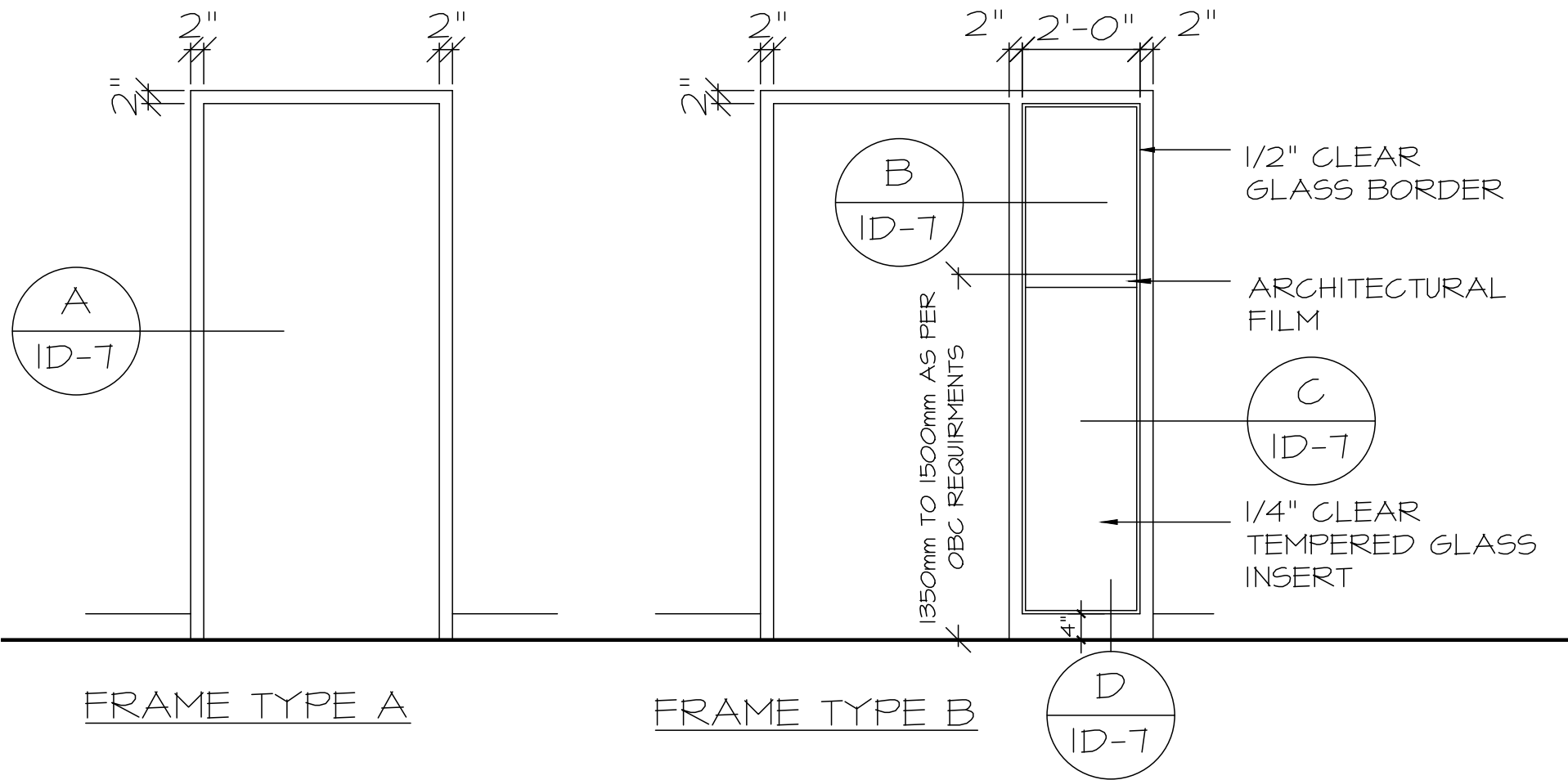
TYPICAL DOOR & FRAME DETAILS



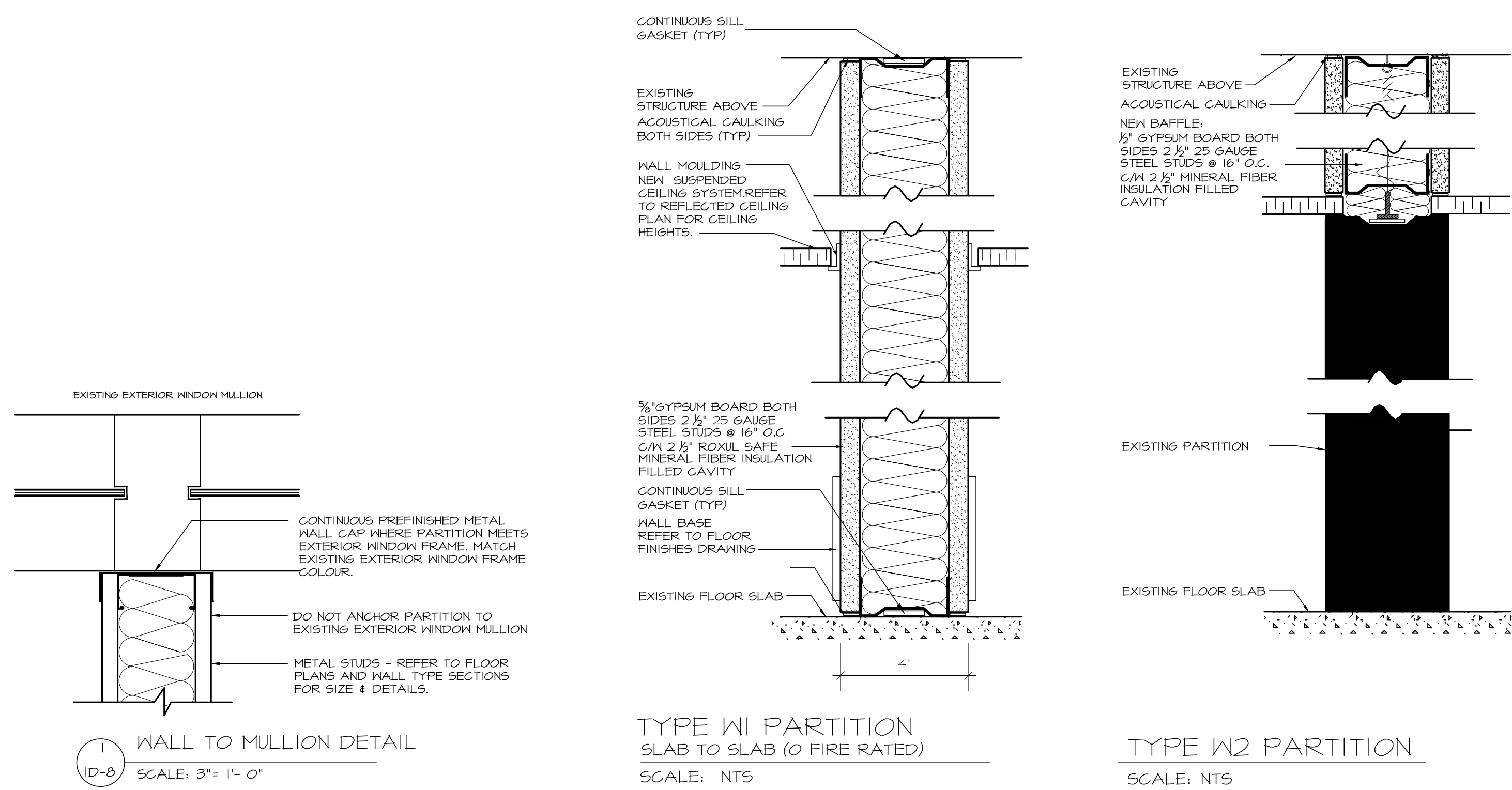
TYPICAL DOOR ELEVATIONS & FILM APPLICATION



TYPICAL FRAME ELEVATIONS



TYPICAL WALL SECTIONS



DOOR AND HARDWARE SCHEDULE																
ITEM NUMBER	DOOR NUMBER	LOCATION	DOOR							FRAME						
			ELEVATION/DOOR TYPE	EXISTING/REUSE/NEW	SIZE			MATERIAL	FINISH	FIRE RATING	ELEVATION/FRAME TYPE	EXISTING/REUSE/NEW	MATERIAL	FINISH	SIDE LIGHT (SIZE)	FIRE RATING
					WIDTH	HEIGHT	THICKNESS									
1	301-A	SUITE 1-(CAPCORP) ENTRY/EXIT	A	N	3'-2"	7'-0"	1 3/4"	SC	P2	0	B	N	PS	P3	1'-0"	0 HR
2	301-B	SUITE 1-(CAPCORP) ENTRY/EXIT	A	N	3'-2"	7'-0"	1 3/4"	SC	P2	0	A	N	PS	P3	-	0 HR
3	302-A	SUITE 2-ENTRY/EXIT	A	N	3'-2"	7'-0"	1 3/4"	SC	P2	0	A	N	PS	P3	-	0 HR
4	302-B	SUITE 2-ENTRY/EXIT	A	N	3'-2"	7'-0"	1 3/4"	SC	P2	0	A	N	PS	P3	-	0 HR
5	303-A	SUITE 3-ENTRY/EXIT	A	N	3'-2"	7'-0"	1 3/4"	SC	P2	0	A	N	PS	P3	-	0 HR
6	303-B	SUITE 3-ENTRY/EXIT	A	N	3'-2"	7'-0"	1 3/4"	SC	P2	0	A	N	PS	P3	-	0 HR

LEGEND & ABBREVIATIONS

DOORS
SC - SOLID CORE PAINT GRADE WOOD DOOR
FRAMES
PS - PRESSED STEEL FRAME
FINISH
P - PAINT FINISH, REFER TO ID-T FOR SPEC
AF - ARCHITECTURAL FILM
MISCELLANEOUS
N - NEW
BB - MATCH BASE BUILDING STANDARD
SV - SITE VERIFY

HARDWARE PACKAGES

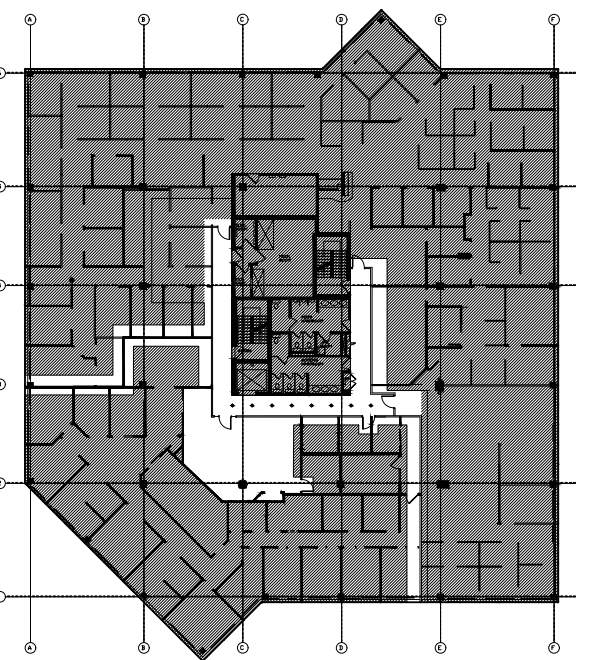
PACKAGE #1 (SUITE ENTRY/EXIT)
- STOREROOM LOCK LATCHSET
- THREE (3) HEAVY DUTY HINGES PER DOOR
- FLOOR MOUNTED DOOR STOP PER DOOR
- ONE (1) HEAVY DUTY O/H DOOR CLOSER W/ 90 DEG HOLD OPEN PER DOOR
- ONE (1) RECESSED DROP BOLT W/ 90 DEGREE HOLD

DOOR AND HARDWARE SPECIFICATIONS

ALL HARDWARE EXCEPT WHERE OTHERWISE NOTED TO BE AS FOLLOWS, REFER TO DOOR AND HARDWARE SCHEDULE. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW BY DESIGN CONSULTANT. ALL LOCKS TO BE KEYED AS PER CLIENT'S INSTRUCTIONS
LEVERS: SCHLAGE AL-SERIES LEVER WITH 626 SATIN CHROMIUM PLATED FINISH.
COAT HOOKS: 65H 30T, C26D SATIN CHROMIUM FINISH
FLOOR STOPS: 65H 210, C26 BRIGHT CHROMIUM FINISH
HINGES: CHROMIUM FINISH



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KEY PLAN

CLIENT UNDERSTANDING

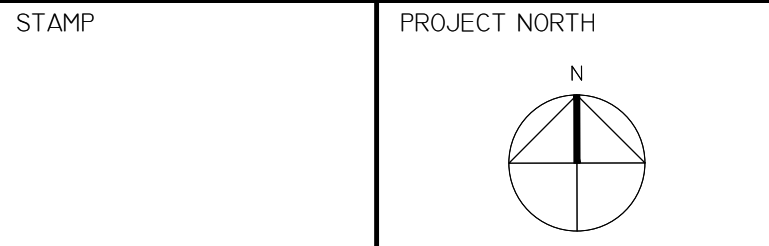
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C	C - DRAWING NUMBER	C

ASDG

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Tel: 613-563-3797

PROJECT
MERKBURN (DEMISING WALLS)
1050 MORRISON DRIVE
3RD FLOOR
OTTAWA

DRAWING TITLE
DOOR, HARDWARE
SCHEDULE, AND WALL
SECTIONS AND DETAILS

SCALE AS NOTED	DRAWN BY SM	DESIGNED BY SAS
DATE APRIL 23RD, 2025	CHECKED BY SAS	
PROJECT NO. 25009	DRAWING NO. ID-7	